



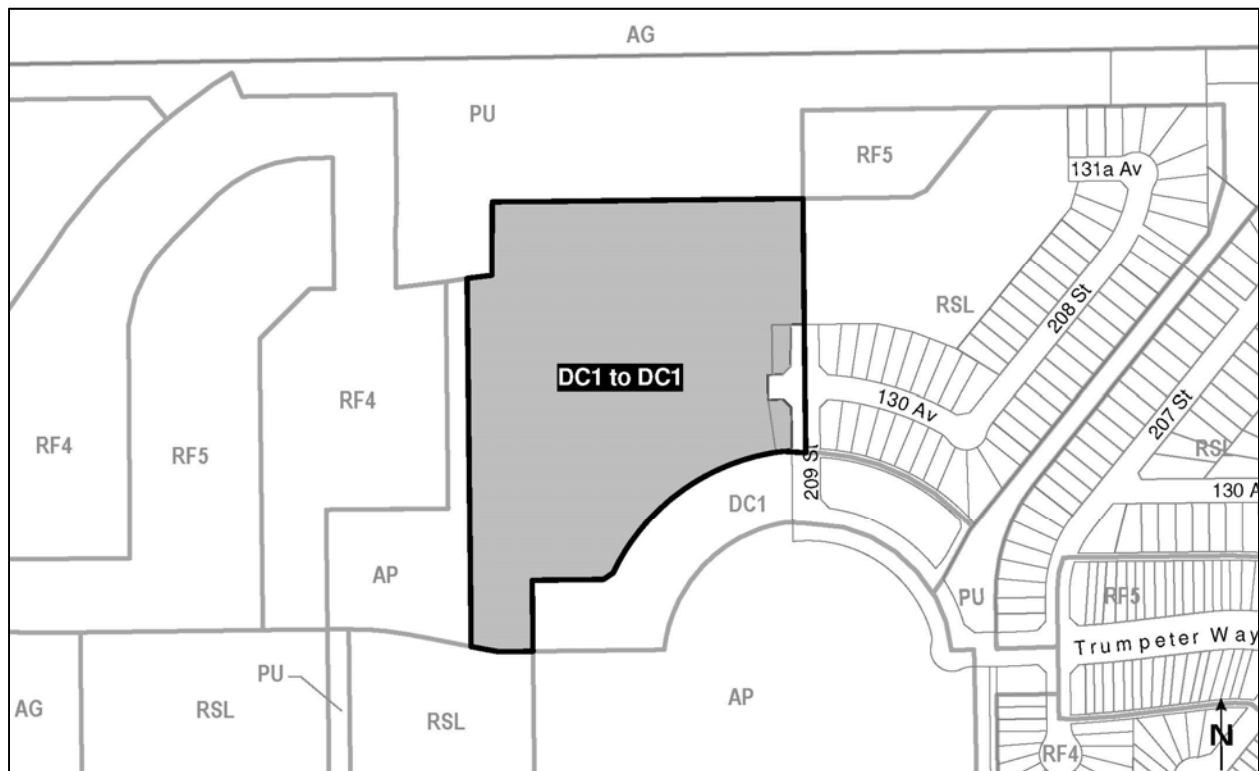
## REZONING APPLICATION TRUMPETER

**12923 Winterburn Road NW**

**20903 130 Avenue NW**

**20904 130 Avenue NW**

To provide opportunity for low density residential uses including zero lot line single detached housing on narrow lots.



### RECOMMENDATION AND JUSTIFICATION

City Planning is in SUPPORT of this application because:

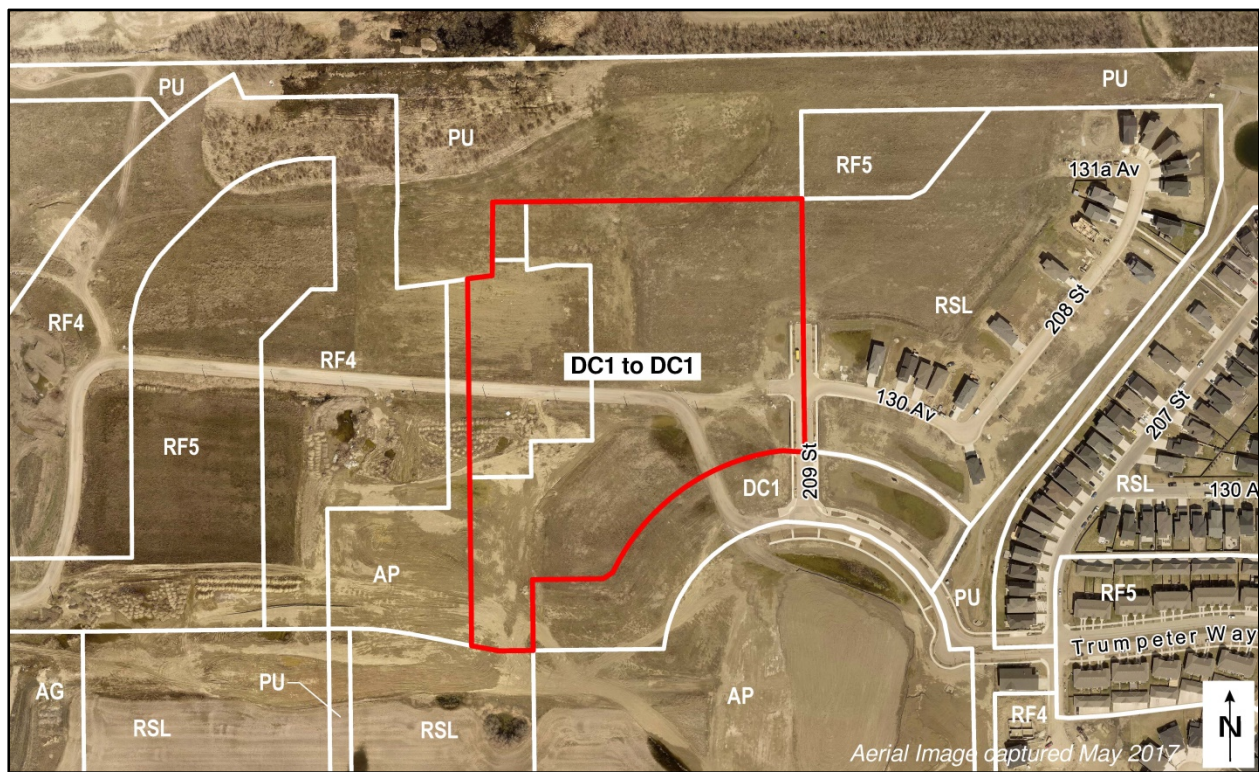
- It provides the opportunity for a variety of housing choices;
- Is compatible with surrounding residential land uses;
- It provides the opportunity for zero lot line development on narrow lots; and
- Conforms to the Trumpeter Neighbourhood Structure Plan.

## THE APPLICATION

BYLAW 18428 proposes to amend an existing Direct Development Control Provision (DC1) by increasing the site coverage on lots, allowing zero lot line housing and garden suites. Zero lot line means one side setback for development from the property line may be reduced to 0 metres with a minimum 1.5 m setback on the other side.

## SITE AND SURROUNDING AREA

The proposed rezoning is located in the northwest portion of the Trumpeter neighbourhood, west of 209 Street NW and north of Trumpeter Way.



AERIAL VIEW OF APPLICATION AREA

	EXISTING ZONING	CURRENT USE
<b>SUBJECT SITE</b>	<ul style="list-style-type: none"> <li>(DC1) Direct Development Control Provision</li> </ul>	<ul style="list-style-type: none"> <li>Vacant land</li> </ul>
<b>CONTEXT</b>		
North	<ul style="list-style-type: none"> <li>(PU) Public Utility Zone</li> </ul>	<ul style="list-style-type: none"> <li>Vacant land</li> </ul>
East	<ul style="list-style-type: none"> <li>(RSL) Residential Small Lot Zone</li> </ul>	<ul style="list-style-type: none"> <li>Vacant and developing lots for single family housing</li> </ul>
South	<ul style="list-style-type: none"> <li>(DC1) Direct Development Control</li> </ul>	<ul style="list-style-type: none"> <li>Vacant land</li> </ul>

	Provision (for medium density housing)	
	<ul style="list-style-type: none"> <li>• (RSL) Residential Small Lot Zone</li> </ul>	<ul style="list-style-type: none"> <li>• Vacant land</li> </ul>
West	<ul style="list-style-type: none"> <li>• (AP) Public Parks Zone</li> </ul>	<ul style="list-style-type: none"> <li>• Vacant land</li> </ul>

## PLANNING ANALYSIS

This rezoning proposal conforms to the Trumpeter Neighbourhood Structure Plan (NSP) which designates the subject land for Low Density Residential Uses. The proposed DC1 provision updates existing land uses and regulations to allow zero lot line development on narrow lots as well as garden suites. In addition, a regulation has been added to disallow front drive access when rear lanes are provided.

Overall, the proposal allows for a greater variety of low density housing choices and adds potential for more housing affordability through the addition of opportunities for garden suites and zero-lot line development.

## TECHNICAL REVIEW

All comments from affected City Departments and utility agencies have been addressed.

## PUBLIC ENGAGEMENT

<b>ADVANCE NOTICE</b> January 18, 2018	<ul style="list-style-type: none"> <li>• Number of recipients: 86</li> <li>• No responses received</li> </ul>
<b>PUBLIC MEETING</b>	<ul style="list-style-type: none"> <li>• Not held</li> </ul>
<b>WEBPAGE</b>	<ul style="list-style-type: none"> <li>• <a href="http://www.edmonton.ca/trumpeter">www.edmonton.ca/trumpeter</a></li> </ul>

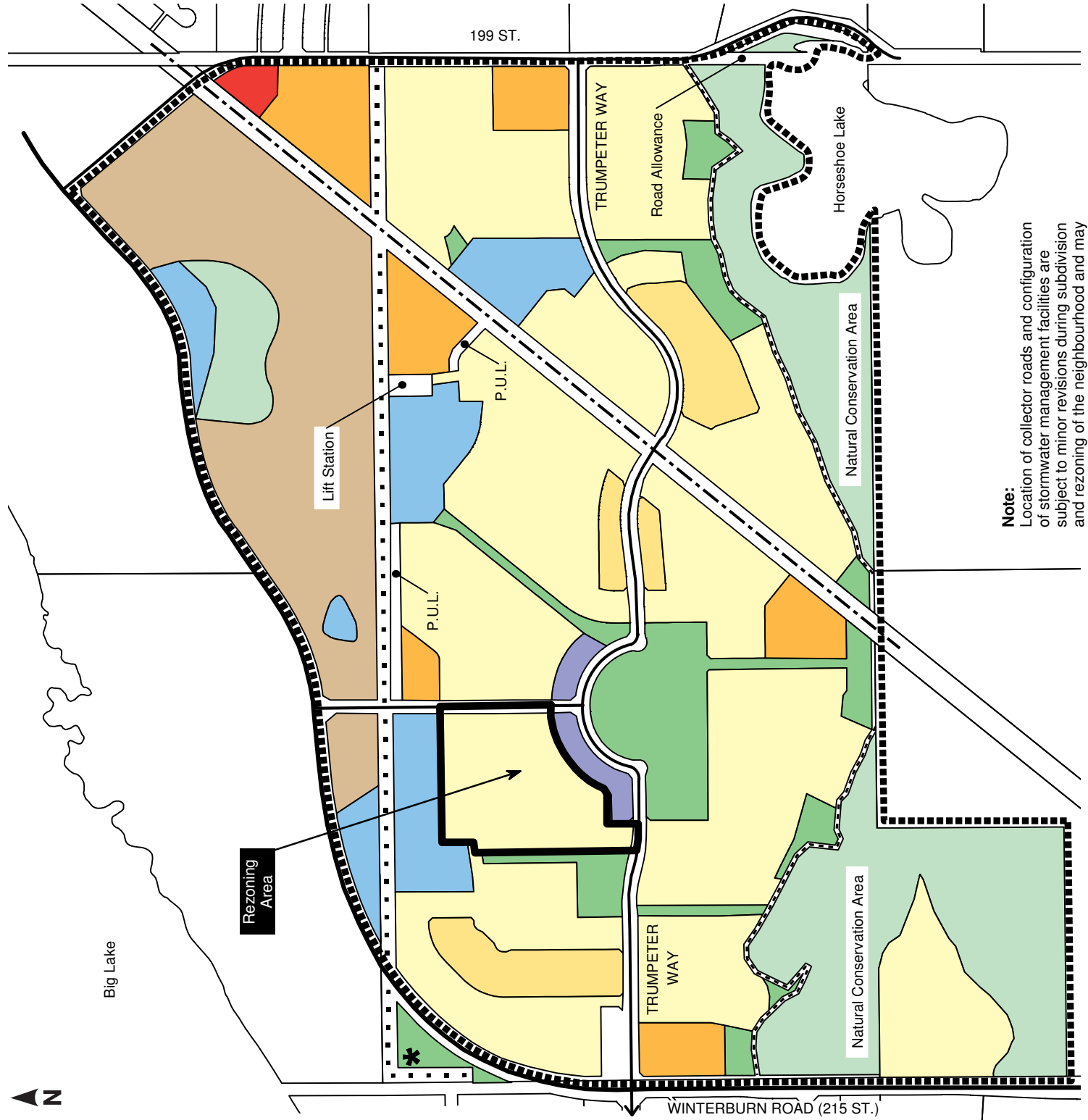
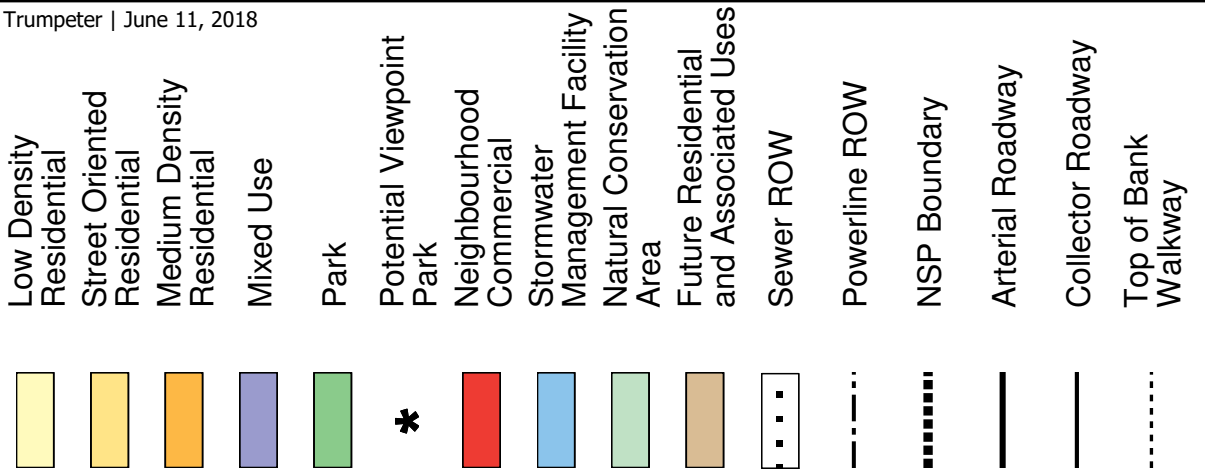
## CONCLUSION

City Planning recommends that City Council APPROVE this application.

## APPENDICES

- 1 Context Plan Map
- 2 DC1 Track Changes
- 3 Application Summary

**BYLAW 17816**  
**APPROVED**  
**TRUMPETER**  
Neighbourhood Structure Plan  
(as amended)



**Note:** Location of collector roads and configuration of stormwater management facilities are subject to minor revisions during subdivision and rezoning of the neighbourhood and may not be developed exactly as illustrated.

## (DC1) DIRECT DEVELOPMENT CONTROL PROVISION

### 1. General Purpose

The purpose of this Zone is to provide for Single Detached Housing in a suburban setting that provides smaller lot sizes with reduced site widths, allowing for more efficient utilization of undeveloped land through increased density.

### 2. Area of Application

This Provision shall apply to a portion of SW-19-53-25-4, Lot 1, Block 14, Plan 1425609 and Lot 24, Block 14, Plan 1425609 containing approximately 5.6 ha, located north of Trumpeter Way and east of 215 Street NW, as shown on Schedule "A" of the Bylaw adopting this Provision, Trumpeter.

### 3. Uses

- a. Garden Suites
- b. Limited Group Homes
- c. Minor Home Based Business
- d. Secondary Suites
- e. Single Detached Housing
- f. Urban Gardens
- g. Fascia On-premises Signs

### 4. Development Regulations

- a. Except as expressly modified in Subsection 4(c) herein, the development regulations specified in the RSL Zone of this Bylaw shall regulate development of Single Detached Housing with front attached Garage in this Zone.
- b. Except as expressly modified in Subsection 4(d) herein, the development regulations specified in the RPL Zone of this Bylaw shall regulate development of Single Detached Housing with rear detached Garage in this Zone.
- c. The following development regulations shall apply to the development of Single Detached Housing with front drive access:
  - i. The minimum Site Area shall be 255 m<sup>2</sup> for each principal building.
  - ii. The minimum Site Width shall be 8.5 m. The Site Width for a pie shaped Lot shall be measured 9 m into the Site from the Front Lot Line.
  - ~~iii. The maximum Height shall not exceed 10.0m.~~
  - iv. The maximum total Site Coverage shall not exceed 50%, inclusive of the attached Garage and any other Accessory Buildings.
  - ~~v. The minimum Side Setback abutting a walkway or Lane shall be 1.2 m.~~
  - vi. The minimum Side Setback shall be 1.2 m, except that:
    - A. On a Corner Lot where the building fronts a public roadway, the minimum Side Setback abutting the flanking public roadway other than a Lane shall be 2.4 m.
  - vii. Zero Lot Line Development shall be permitted where:
    - A. the other Side Setback is a minimum of 1.5 m;



- B. all roof leaders from the Dwelling are connected to the storm sewer service;
  - C. all roof leaders from Accessory buildings are connected to the storm sewer service or directed to drain directly to an adjacent lane;
  - D. no roof leader discharge shall be directed to the maintenance easement; and
  - E. the owner of the adjacent Site register against title, a private maintenance easement a minimum of 1.5 m wide that provides for:
    - I. a 0.30 m eave encroachment easement with the requirement that the eaves must not be closer than 0.90 m to the eaves on the adjacent building;
    - II. a 0.60 m footing encroachment easement;
    - III. a drainage swale, constructed as per the City of Edmonton Design and Construction Standards; and
    - IV. permission to access the easement area for maintenance of both properties.
- d. The following development regulations shall apply to the development of Single Detached Housing with rear detached Garage:
- ~~i. The minimum Site area shall be 255 m<sup>2</sup>.~~
  - ~~ii. The minimum Site Width shall be 8.5 m.~~
  - ~~iii. The minimum Site Depth shall be 30.0 m.~~
  - ~~iv. The maximum Height shall not exceed 10.0 m.~~
  - v. The minimum Front Setback shall be 3.0 m.
  - vi. The minimum Side Setback shall be 1.2 m, except that:
    - A. The minimum Side Setback abutting a public roadway other than a Lane shall be 20% of the Site Width or 2.4 m, whichever is greater.
    - B. The maximum total Site Coverage shall not exceed 50% with a maximum of 35% for a principal building, and a maximum of 17% for Accessory buildings. Where a Garage is attached to or designed as an integral part of a Dwelling, the maximum Site Coverage for the principal building shall be 50%.
- e. There shall be no vehicular access to a lot from the front or flanking public roadway where a Lane Abuts the Rear Lot Line.

## APPLICATION SUMMARY

### INFORMATION

Application Type:	Rezoning
Bylaw:	18428
Location:	West of 209 Street NW and north of Trumpeter Way NW
Addresses:	12923 Winterburn Road NW, 20903 130 Avenue NW, 20904 130 Avenue NW
Legal Descriptions:	Portion of SW-19-53-25-4; Lot 1, Block 14, Plan 1425609; Lot 24, Block 14, Plan 1425609
Site Area:	Approximately 5.60 ha
Neighbourhood:	Trumpeter
Ward - Councillor:	1 – Andrew Knack
Notified Community Organizations:	Cumberland/Oxford Community League (COCL), Westview Village Association, and Big Lake Estates Homeowners Association Area Council
Applicant:	Stantec

### PLANNING FRAMEWORK

Current Zone:	(DC1) Direct Development Control Provision
Proposed Zone:	(DC1) Direct Development Control Provision
Plans in Effect:	Trumpeter Neighbourhood Structure Plan and Big Lake Area Structure Plan
Historic Status:	None

Written By:  
Approved By:  
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