

Bylaw 18266

A Bylaw to amend Bylaw 13717, as amended, being the
Windermere Area Structure Plan through an amendment to the
Glenriding Ravine Neighbourhood Structure Plan

WHEREAS pursuant to the authority granted to it by the Municipal Government Act on May 25, 2004, the Municipal Council of the City of Edmonton passed Bylaw 13717, being the Windermere Area Structure Plan; and

WHEREAS City Council found it desirable from time to time to amend Bylaw 13717, as amended, being Windermere Area Structure Plan by adding new neighbourhoods; and

WHEREAS on December 13, 2016 Council adopted, as Appendix “D” to Bylaw 13717, as amended, the Glenriding Ravine Neighbourhood Structure Plan by the passage of Bylaw 17798; and

WHEREAS an application was received by City Planning to amend the Glenriding Ravine Neighbourhood Structure Plan; and

WHEREAS Council considers it desirable to amend Bylaw 13717, as amended, the Windermere Area Structure Plan through an amendment to the Glenriding Ravine Neighbourhood Structure Plan;

NOW THEREFORE after due compliance with the relevant provisions of the Municipal Government Act RSA 2000, ch. M-26, as amended, the Municipal Council of the City of Edmonton duly assembled enacts as follows:

1. The Glenriding Ravine Neighbourhood Structure Plan, being Appendix “D” to Bylaw 13717, as amended, being the Windermere Area Structure Plan, is amended as follows:
 - a. delete the sentence under Section 1.2 Authority and substitute the following:
“The Glenriding Ravine NSP was adopted by Edmonton City Council on

December 13, 2016 as Bylaw 17798 in accordance with Section 633 of the Municipal Government Act.”

- b. delete the last sentence of the last paragraph under Section 2.1 Location.
- c. delete the first three sentences of the second paragraph of Section 3.2.6 Residential and substitute the following: “Low Density Residential (Single/Semi-Detached housing) will allow for single detached, semi-detached and limited row housing.”
- d. delete the third paragraph of Section 3.2.6 Residential and substitute the following: “Medium Density Residential (Row Housing) will allow for row housing. Row housing located along the collector road south of 28 Avenue SW will be developed with alley access. In cases where innovative row housing forms are proposed, a direct control zone may be used. The direct control zone will ensure appropriate transitions between low and medium density residential uses.”
- e. delete the fourth paragraph of Section 3.2.6 Residential and substitute the following: “Medium Density Residential (Low-Rise/Medium Density Housing) will allow for stacked row housing or low-rise apartments.”
- f. delete the first sentence of the sixth paragraph of Section 3.2.6 Residential.
- g. delete the second sentence of the first paragraph under the Rationale of Objective 24 under Section 3.2.6 Residential and substitute the following: “The Glenriding Ravine NSP’s ratio is approximately 57% Low Density Residential to 43% Medium Density Residential.”
- h. delete the land use and population statistics entitled “Glenriding Ravine Neighbourhood Structure Plan - Land Use and Population Statistics – Bylaw 17798” and replace with “Glenriding Ravine Neighbourhood Structure Plan - Land Use and Population Statistics – Bylaw 18266” attached hereto as Schedule “A” and forming part of this Bylaw;

- i. delete the map entitled “Glenridding Ravine Neighbourhood Structure Plan - Bylaw 17798” and replace with the map “Glenridding Ravine Neighbourhood Structure Plan - Bylaw 18266” attached hereto as Schedule “B” and forming part of this Bylaw; and
- j. delete “Figure 7: Land Use Concept” and replace with “Figure 7: Land Use Concept” attached hereto as Schedule “C” and forming part of this Bylaw.

READ a first time this	day of	, A.D. 2018;
READ a second time this	day of	, A.D. 2018;
READ a third time this	day of	, A.D. 2018;
SIGNED and PASSED this	day of	, A.D. 2018.

THE CITY OF EDMONTON

MAYOR

CITY CLERK

Table 5 - Land Use & Population Statistics

Glenridding Ravine Neighbourhood Structure Plan Land Use and Population Statistics - Bylaw 18266			
LAND USE	Area (ha)	% of GA	
Gross Area	197.93		
Environmental Reserve Easement (ER)	0.74		
Public Upland Area (Lands between Urban Development Line and Top-of-Bank)	5.51		
Utility Right-of-Way	1.76		
Existing Jagare Ridge Golf Course	12.39		
Arterial Road Right-of-Way	23.09		
	Area (ha)	% of GDA	
Gross Developable Area	154.44	100.0%	
Commercial			
<i>Community Commercial</i>	6.02	3.9%	
Parkland, Recreation, School, Municipal Reserve*	9.14	5.9%	
<i>Urban Village Park</i>	6.50	4.21%	
<i>Pocket Parks</i>	1.40	0.91%	
<i>Greenway (MR)</i>	0.15	0.10%	
<i>Top-of-Bank Parks</i>	1.09	0.71%	
Transportation			
<i>Circulation</i>	30.89	20.0%	
<i>Greenway (ROW)</i>	0.14	0.1%	
<i>Transit Centre</i>	0.79	0.5%	
Infrastructure / Servicing			
<i>Stormwater Management Facilities</i>	8.91	5.8%	
Total Non-Residential Area	55.89	36.19%	
Net Residential Area (NRA)	98.55	63.81%	

RESIDENTIAL LAND USE, UNIT COUNT AND POPULATION

Land Use	Area (ha)	Units/ha	Units	% of NRA	People/Unit	Population
Low Density Residential (LDR)						
<i>Single/Semi-Detached Residential</i>	79.23	25	1,981	80%	2.80	5,547
Medium Density Residential (MDR)						
<i>Row Housing</i>	5.16	45	232	5%	2.80	650
<i>Low-Rise/Medium Density Housing</i>	14.16	90	1,274	14%	1.80	2,293
Total	98.55		3,487	100.00%		8,490

SUSTAINABILITY MEASURES

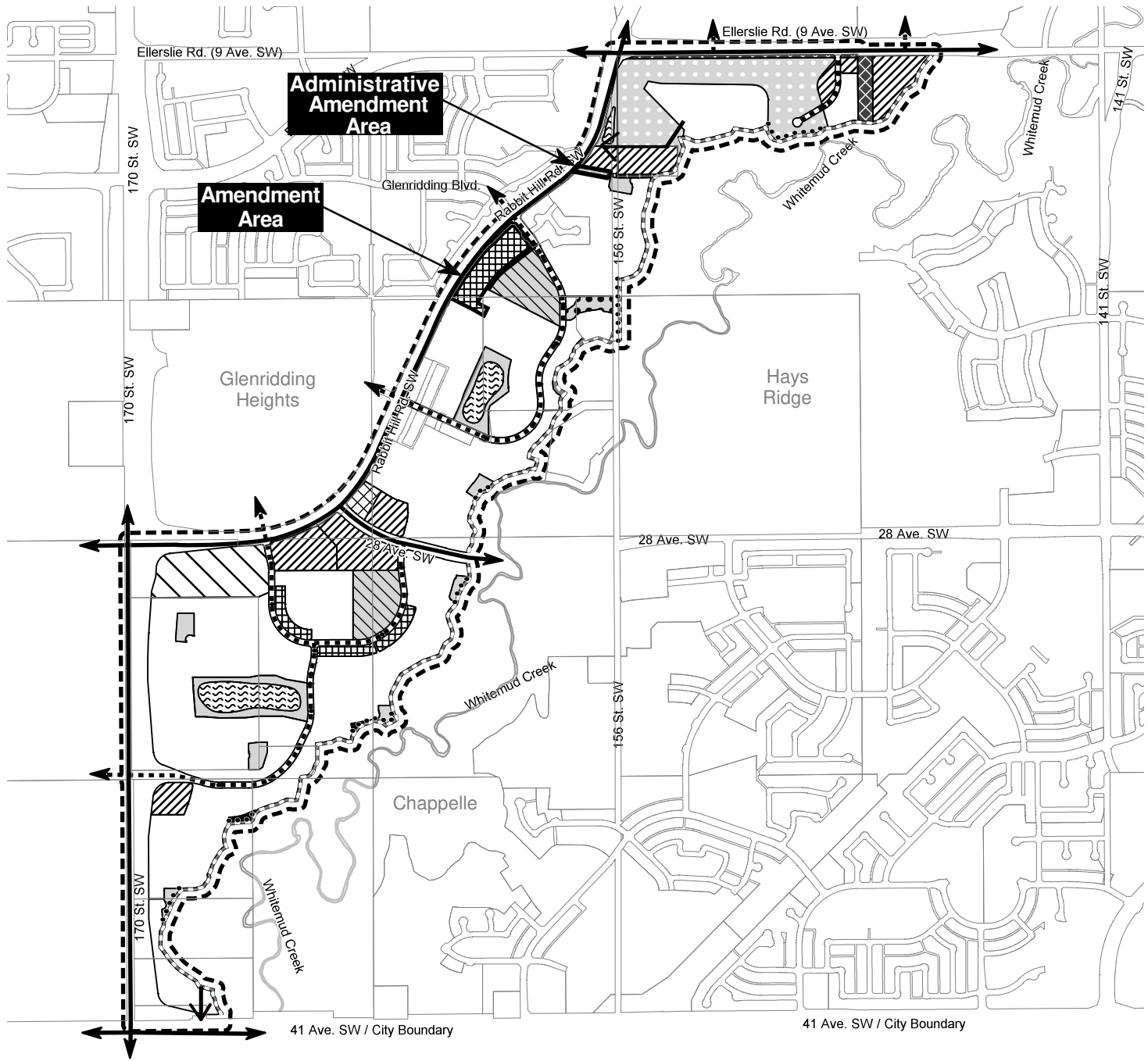
Population Density (ppnrha)						86
Unit Density (upnrha)						35
Single/Semi-Detached // Rowhousing, Low Rise/Medium Density Housing	57%	/	43%	/		
Population (%) within 500 m of Parkland						81%
Population (%) within 400 m of Transit Service						100%
Population (%) within 600 m of Commercial Service						61%
Presence / Loss of Natural Area Features			Land	Water		
Protected as Environmental Reserve (ha)			0.74	n/a		
Conserved as Naturalized Municipal Reserve (ha)			n/a	n/a		
Protected through other means (ha)			n/a	n/a		
Lost to Development (ha)			5.69	n/a		

STUDENT GENERATION STATISTICS

Public School Board		618
Elementary	309	
Junior High	154	
Senior High	154	
Separate School Board		309
Elementary	154	
Junior High	77	
Senior High	77	
Total Student Population		927























*As per TOB Policy C542, the area between the TOB roadway and the Urban Development Line shall be deducted from the gross area. Exact areas will be confirmed at the time of subdivision and through legal survey.

***Areas dedicated to Municipal Reserve to be confirmed by legal survey.



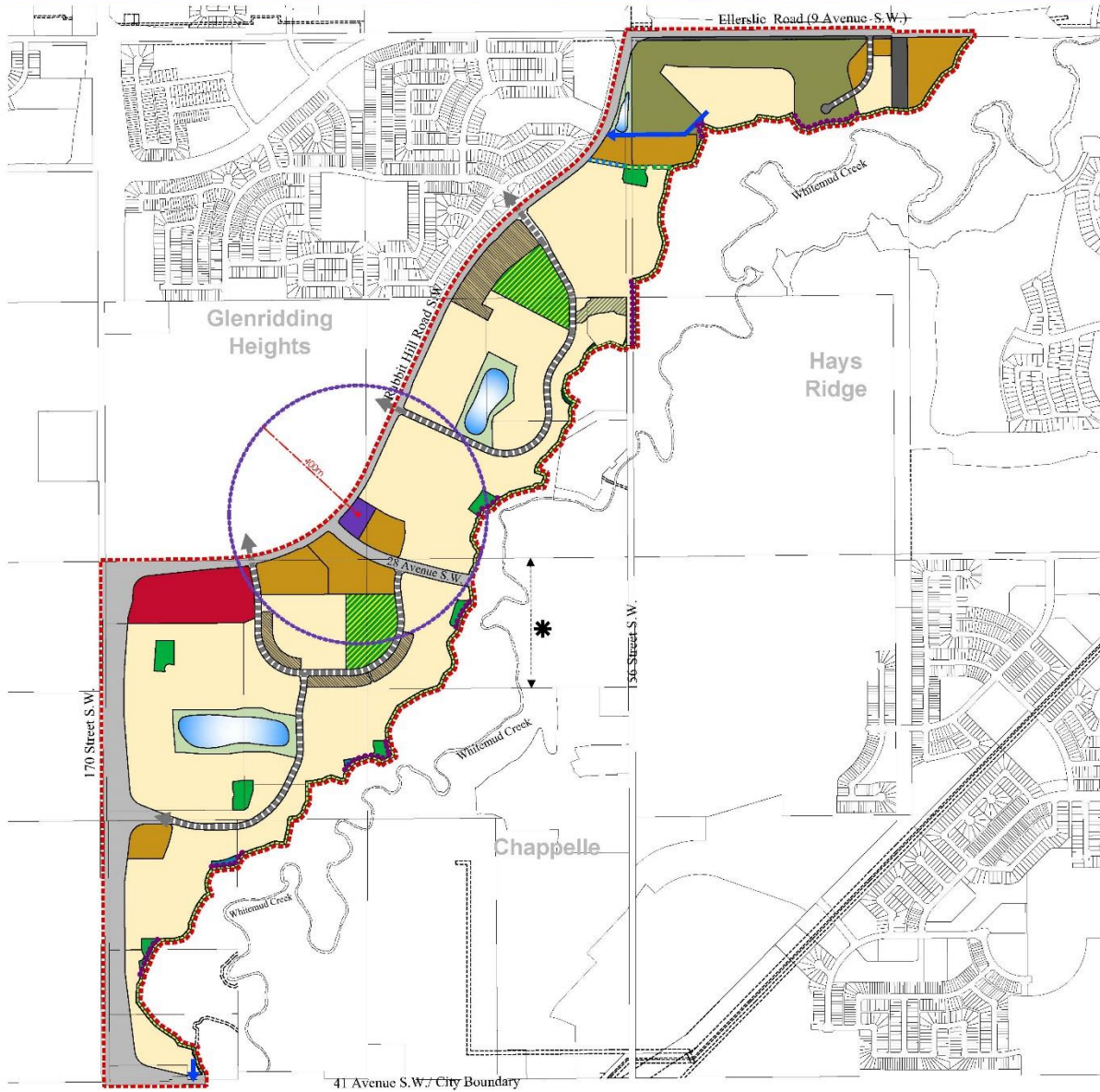
**BYLAW 18266
AMENDMENT TO
GLENRIDGING RAVINE
Neighbourhood Structure Plan**



- | | | | | | |
|------------------------------------------------------------------------------------|--------------------------------|-------------------------------------------------------------------------------------|---------------------------------------------------|---------------------------------------------------------------------------------------|-----------------------------|
|  | Low Density Residential |  | Existing Golf Course |  | Greenway (ROW) |
|  | Row Housing |  | Environmental Reserve Easement (No Public Access) |  | Emergency Access |
|  | Low Rise/Medium Density |  | Public Upland Area |  | Collector Roadway |
|  | Transit Centre |  | Lands between UDL & Top-of-Bank Roadway |  | Arterial Roadway |
|  | Commercial |  | Top-of-Bank Shared Use Path |  | Public Utility Right-of-Way |
|  | Stormwater Management Facility |  | Top-of-Bank Roadway |  | NSP Boundary |
|  | Park |  | Greenway (MR) |  | Amendment Area |
|  | Urban Village Park | | | | |

Note: Location of collector roads and configuration of stormwater management facilities are subject to minor revisions during subdivision and rezoning of the neighbourhood and may not be developed exactly as illustrated.

Figure 7 - Land Use Concept
Glenridding Ravine - Neighbourhood Structure Plan



- | | | | |
|-----------------------------------------------------------------------------------|---------------------------------------------------|-----------------------------------------|-------------------------------------------------------------------------------------------------------------|
| Single / Semi-Detached Residential (Includes Existing Homesite & Historical Site) | Stormwater Management Facility | Greenway (ROW) | Arterial Roadway |
| Row Housing | Park | Public Upland Area | Collector Roadway |
| Low Rise / Medium Density Housing | Urban Village Park | Top-of-Bank Shared-use Path | Public Utility Right-of-Way |
| Transit Centre | Existing Golf Course/ Club House | Lands Between UDL & Top-of-Bank Roadway | NSP Boundary |
| Community Commercial | Environmental Reserve Easement (No Public Access) | Emergency Access | Top-of-Bank & Public Upland Area interpreted by aerial photograph, to be confirmed at the time of rezoning. |
| | Greenway (MR) | Top-of-Bank Roadway / Park | |

Note: This map is conceptual in nature. The exact location and alignment of land uses, facilities, roadways and services will be determined at the zoning and subdivision stage.