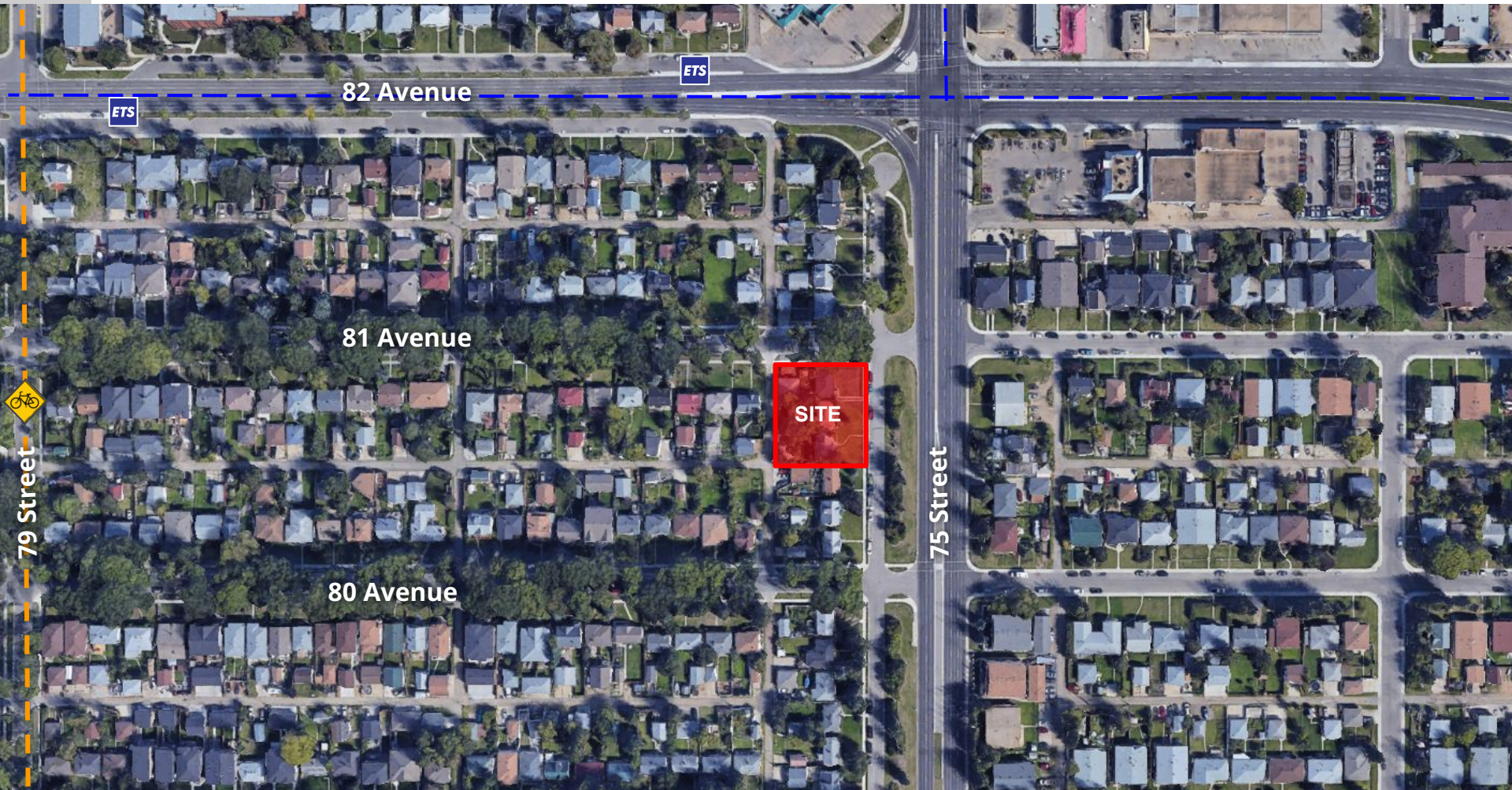




ITEM 3.8
CHARTER BYLAW 19942
King Edward Park

DEVELOPMENT
SERVICES
February 8, 2022

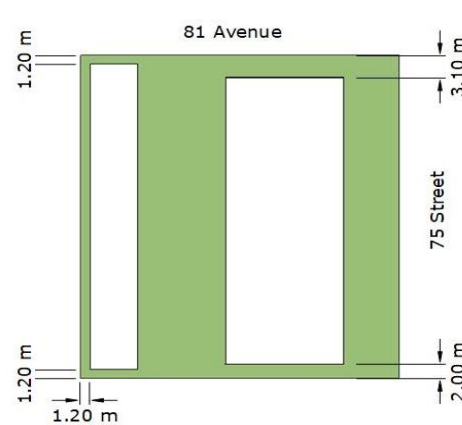




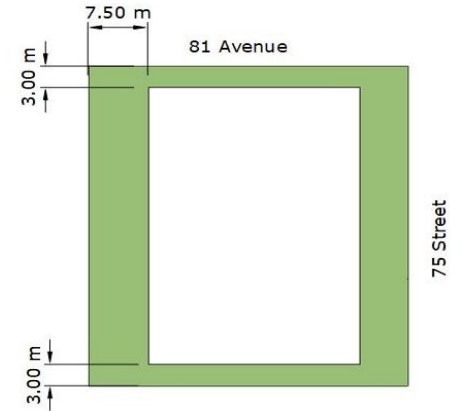
3 ZONING COMPARISON

	RF3 + MNO <i>Current</i>	RA7 <i>Proposed</i>
Principal Building	Multi-Unit Housing	Multi-Unit Housing
Height	8.9 m pitched roof	14.5 m flat roof/ 16.0 m pitched roof
Front Setback (75 street)¹	approx 7.0 m	6.0 m
Interior Side Setback	2.0 m	3.0 m
Flanking Side Setback (81 ave)	3.1 m	3.0 m
Rear Setback (alley)	14.6 (40% of Site Depth)	7.5 m
Maximum No. Dwelling Units	Ten (10) principal dwellings at 150 m ² per dwelling Ten (10) Secondary Suites ² Ten (10) Garden Suites ²	minimum of 7 No maximum
Accessory Building	Garden Suite	N/A
Height	6.5 m	
Interior Side Setback	1.2 m	
Flanking Side Setback	1.2 m	
Rear Setback	1.2 m	

POTENTIAL RF3 BUILT FORM



POTENTIAL RA7 BUILT FORM

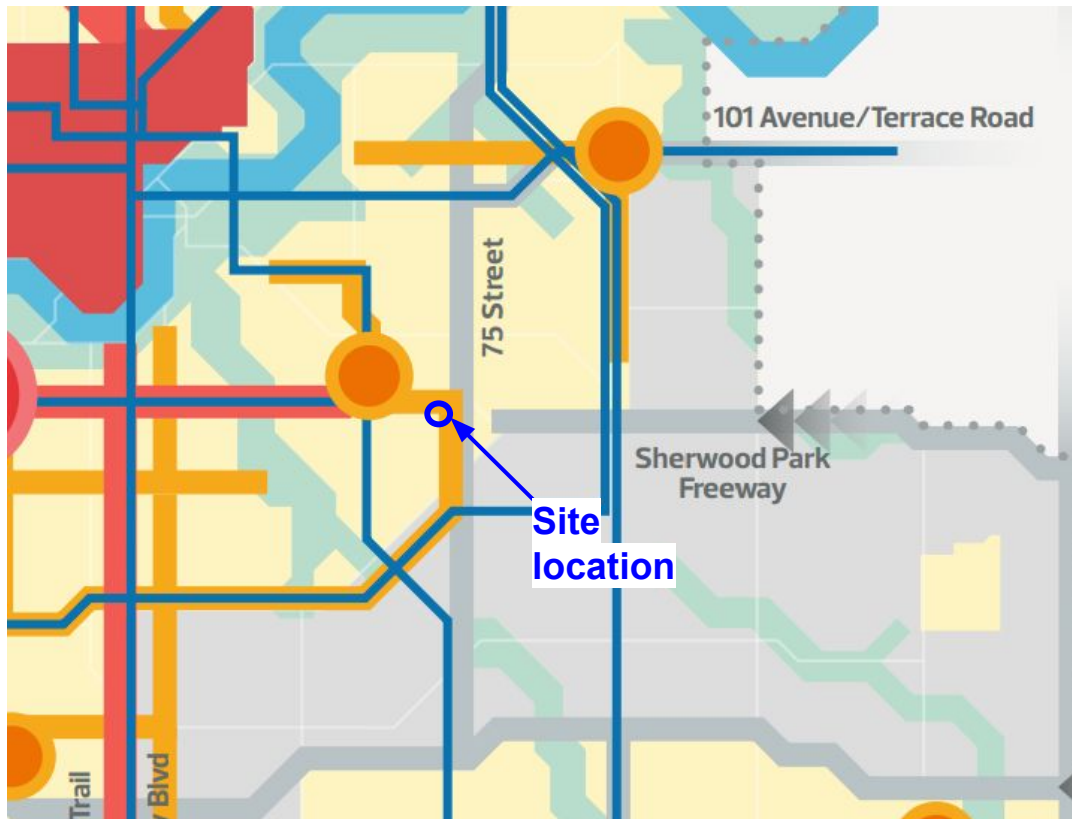


Notes:

¹ in this scenario the front lot line is assumed to be 75 Street NW as per Section 43.1(a) of the zoning bylaw
² Secondary Suites and Garden Suites are allowed with each existing principal dwelling, the likelihood of these suites diminishes as the number of principal dwellings increase.

- Street parking and traffic
- An increase in crime
- Shadowing
- Overall size of the development







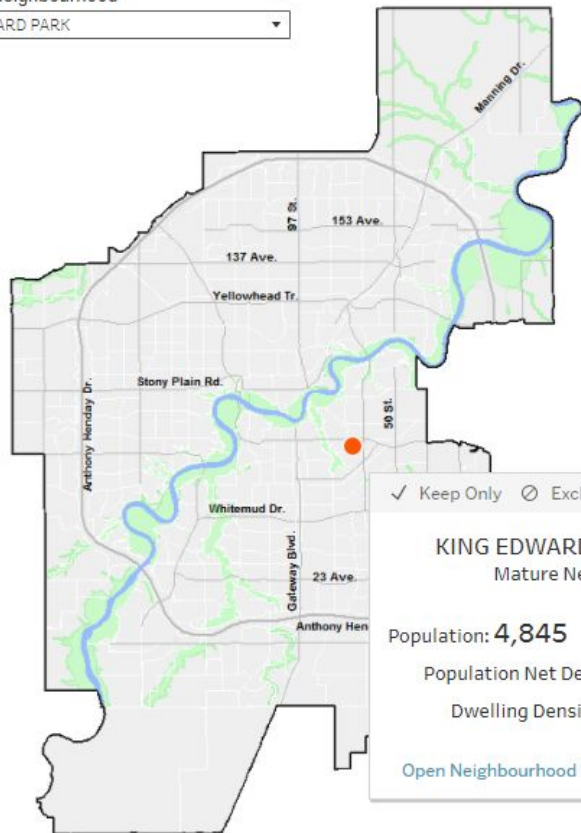
ADMINISTRATION'S RECOMMENDATION: **APPROVAL**

Neighbourhood Profile

Federal Census 2016 - King Edward Park (Ward 11)

Select a Neighbourhood

KING EDWARD PARK



Keep Only Exclude

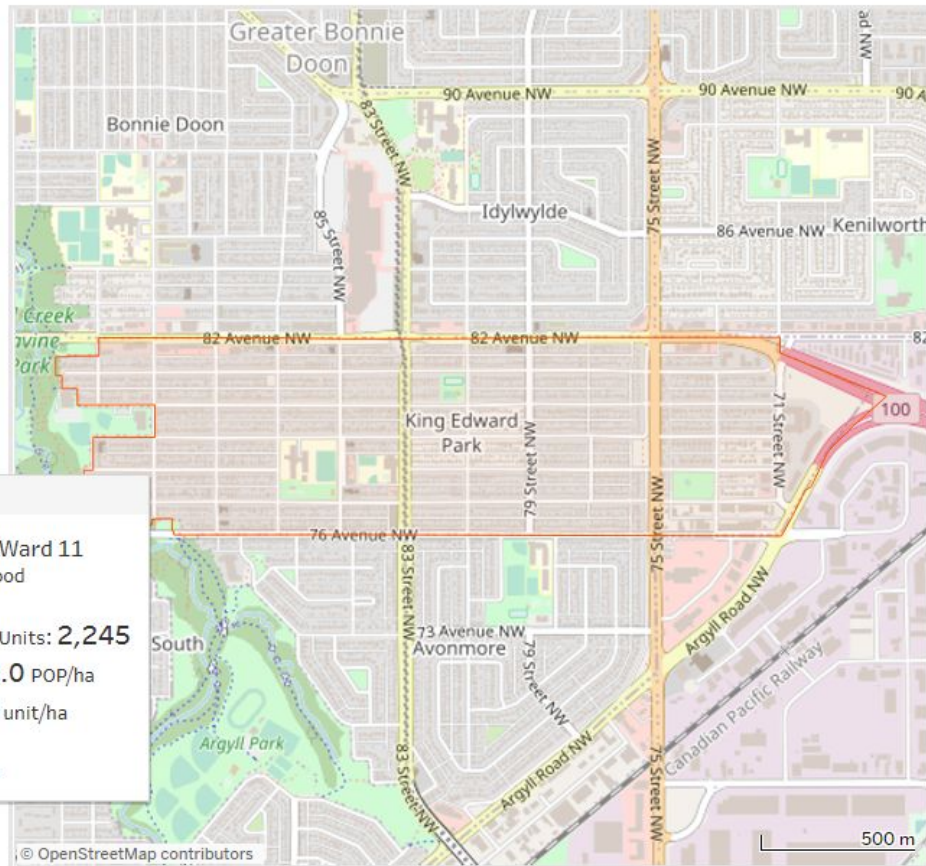
KING EDWARD PARK - Ward 11
Mature Neighbourhood

Population: **4,845** Dwelling Units: **2,245**

Population Net Density: **55.0** POP/ha

Dwelling Density: **25.8** unit/ha

[Open Neighbourhood Description](#)



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Note:
* Only residential neighbourhoods with a total population greater than 100 people are presented;