

9860 & 9854 - 90 Avenue NW and 9013 & 9009 - 99 Street NW

To allow for a mid-rise mixed use building.



Recommendation: That Charter Bylaw 20223 to amend the Zoning Bylaw from (DC2) Site Specific Development Control Provision to (DC2) Site Specific Development Control Provision be **APPROVED**.

Administration **SUPPORTS** this application because it:

- increases residential density along a key Secondary Corridor in support of the infill objectives of the City Plan
- conforms with the Strathcona Area Redevelopment Plan's mid rise concept for a mixture of commercial and residential developments at this location
- provides detailed design features, the overall look and site layout that contributes to the pedestrian friendly interface with high standards along two abutting roadways

Application Summary

CHARTER BYLAW 20223 will amend the Zoning Bylaw, as it applies to the subject site, from (DC2) Site Specific Development Control Provision to (DC2) Site Specific Development Control Provision for the purpose of accommodating mid rise mixed use building with commercial uses on the main floor and residential units above.

This proposal is supported by The City Plan by aligning with the goals and policies to accommodate all future growth for an additional 2 million population within Edmonton's existing boundaries. To do this, 50% of all new residential units are intended to be created at infill locations, focusing near key corridors such 99 Street - a Secondary Corridor. This application also conforms with the Strathcona Area Development Plan policies under the Mid/High Rise Apartment Area of the neighbourhood.

This application was accepted on January 28, 2022, from Beljan Developments on behalf of Sharbro Construction Ltd.

Community Insights

Based on the characteristics of this application the file was brought forward to the public using the Broadened Approach by increasing the minimum notification radius from 60.0 metres to 120.0 metres. This approach was selected because the application proposes a new Site Specific Development Control Provision on a site where the previous application prompted extensive public response.

This application included the following engagement techniques

DC2 Pre-Application Notification, August 11, 2021

- Number of recipients: 213
- Number of responses (as reported by the applicant): 6

Advance Notice (RF1 to DC2), March 9, 2022

- Number of recipients: 212
- Number of responses: 9

Webpage

- edmonton.ca/strathconaplanningapplications

Common comments heard throughout the various methods include:

- Increased density is not favourable
- A decrease in amenity area is not acceptable
- Increased units will contribute to vehicular congestion with potential parking impacts to the neighbourhood

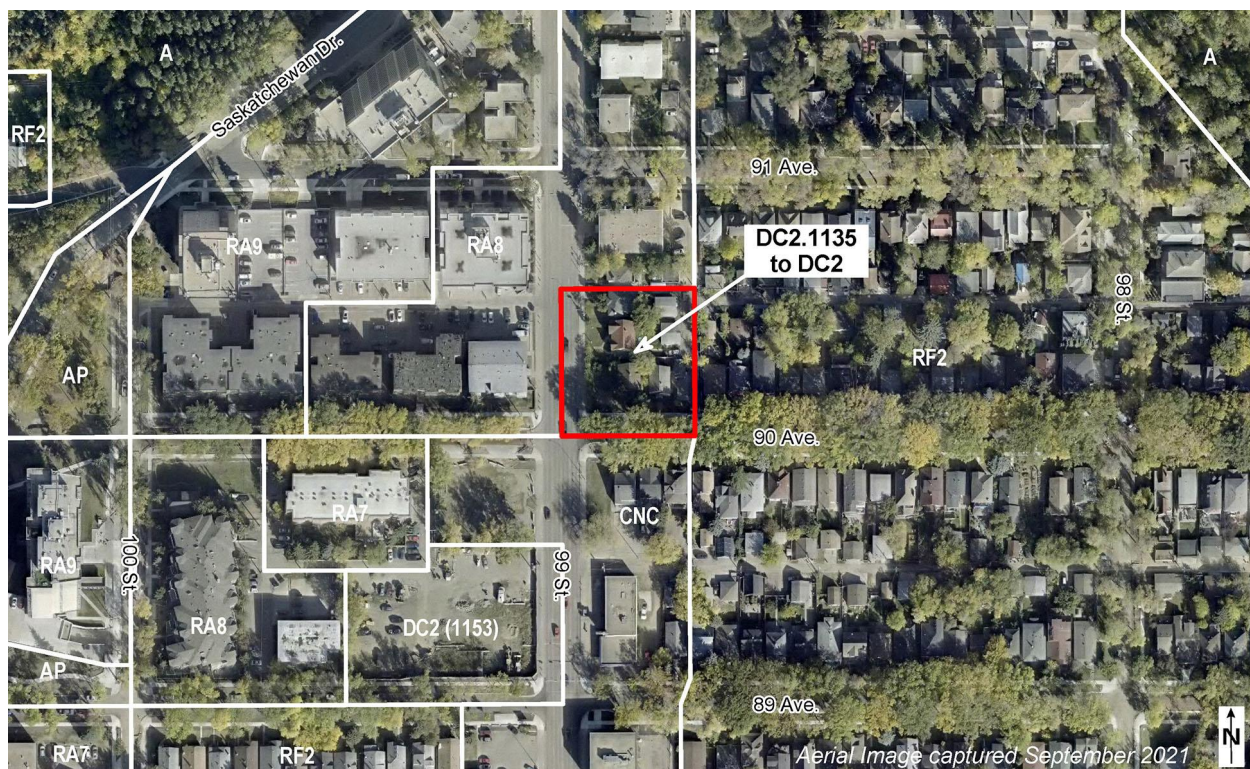
- Increased density will lead to more criminal activity in the neighbourhood
- Neighbourhood disruption during infill construction
- Continued concerns regarding a mid rise building's noise, shadowing and lost of privacy for adjacent lots
- Concerns with regards to wind impact, rain sheeting and drainage for adjacent properties

No formal feedback or position was received from the Strathcona Community League nor the Central Area Council of Community Leagues at the time this report was written.

Site and Surrounding Area

The 1,926 m² site is located on the northeast corner of 99 Street NW and 90 Avenue NW and is currently developed with four Single Detached Houses. It is along the 99 Street arterial roadway with good access to transit routes where frequent transit is provided along this corridor. The site's properties are not currently well connected to the Bike Network, but upon completion of the Building Great Neighbourhoods - Strathcona Project in 2021, it will be a short distance from both the new 87 Avenue NW and 100 Street NW protected bike lanes, and shared facilities on 98 Street NW. It is also only a short distance from shared use paths and trails in the River Valley and Mill Creek Ravine to the north and east.

This area serves as a transition point between low and high rise apartments to the west and north on the other side of 99 Street NW, and houses to the east and south. The majority of the 99 Street NW corridor here is developed as 3-4 storey low rise apartments with some small scale commercial opportunities mixed throughout.



Aerial view of application area

	EXISTING ZONING	CURRENT USE
SUBJECT SITE	(DC2) Site Specific Development Control Provision	Single Detached House (Some converted to commercial uses)
CONTEXT		
North	(RA8) Medium Rise Apartment Zone	2-storey Semi Detached Housing
East	(RF2) Low Density Infill Zone	Single Detached Housing
South	(CNC) Neighbourhood Convenience Commercial Zone	Vacant lot and Single Detached Houses (converted to commercial uses)
West	(RA8) Medium Rise Apartment Zone	3 to 4-storey low rise apartment housing



View of the site looking east across 99 Street NW



View of the site looking northwest from 90 Avenue and the rear lane.

Planning Analysis

Land Use Compatibility

The proposed changes to the site regulations are compatible with the existing condition within the Mid and High Rise Area of Strathcona and other uses in proximity to the site. The 99 Street NW corridor currently serves as a defined zoning border between a mixture of low, medium and high scale developments (RF2, RA7, RA8 and RA9) on the west, and an area of low scale development on the east (almost entirely RF2). The corridor itself is predominantly the (RA8) Medium Rise Apartment Zone which allows for approximately 6 storey residential buildings with limited commercial uses at ground level. This proposal maintains the original intent of the current DC2 to provide an 8 storey mixed use mid-rise building with commercial uses on the main floor fronting on 99 Street NW and residential uses above. The

application proposes an increase of 5 additional dwellings from the previously approved 60 units adopted under the current DC2 zoning and revises the required amenity areas designated for the site's residents. Specific design considerations captured within the current DC2 provisions have been maintained to help mitigate impacts to the more sensitive uses located to the east across the rear lane. This includes requiring a minimum 8.0 metre setback from the east property line with increased setbacks for the levels above the first storey and further separation setbacks from the rooftop amenity areas from the single detached houses adjacent to the site to the east.

The structure takes the form of a rectangular shaped building oriented to the west to help facilitate a pedestrian friendly streetscape with commercial uses fronting along 99 Street. The redevelopment further allows frontage activation with opportunities for ground level patios, a barrier free ramp for universal accessibility designed with decorative hardsurface treatments for an attractive setting.

The building's orientation wraps the southern property line where the main entrance to the residential units are accessed. This residential frontage to the south when compared to the western facade, transitions well with the residential uses along 90 Avenue providing some separation between the site's commercial uses. Changes along the rear lane provide additional landscaping areas while replacing some surface parking. This layout retains the access to the proposed underground parkade for additional below grade parking as originally planned. Overall, the proposed changes do not significantly impact the built form and are seen generally consistent with the current provisions and the proposed uses maintain compatibility with the existing surrounding properties.

Strathcona Area Redevelopment Plan

This site is located in the Mid/High Rise Apartment Area as per the Strathcona Area Redevelopment Plan (ARP). This application conforms with policies of the ARP seeking specific development criteria for mid-rise buildings up to 8 storeys in height at this location subject to the following conditions:

- DC2 Zoning
- Commercial Uses at ground floor oriented to front 99 Street NW
- The provision of a lane that separates the site from remaining residential block to the east
- Provide a minimum 10.0 m setback between the east lot line and any portions of the building above the first storey
- Provide a minimum 7.5 m setback between the west lot line and any portions of the building above the first storey
- Floor Area Ratio no higher than 3.3

The City Plan

The City Plan is a high level policy document describing the strategic goals, values and intentions that direct how Edmonton will grow from 1 million to 2 million people over the next several decades. One key piece of this plan is to accommodate all future growth within Edmonton's existing boundaries, with no

further annexations or expansions. To do this, 50% of all new residential units are intended to be created at infill locations such as Strathcona, focusing near key corridors such as the Whyte Avenue NW and 99 Street NW.

Within The City Plan, this segment of 99 Street NW is identified as a secondary corridor. A secondary corridor is intended to be a vibrant residential and commercial street that serves as a local destination for surrounding communities. Along a secondary corridor, The City Plan includes a wide range of activities supported by low and mid rise mixed-use developments targeting an overall desired density of a minimum 75 people or jobs per hectare. These targets are expected to be satisfied with future redevelopment based on the current rezoning proposal.

Edmonton Design Committee

The current DC2 provisions for this site received conditional support from the Edmonton Design Committee (EDC) on June 18, 2019. At the time the current DC2 was reviewed and under Administration's perspective, the applicant made sufficient effort to address the majority of EDC's concerns within the constraints of the site and while balancing other feedback and technical review results. Recognizing this, City Council approved the proposed design and appendices under DC2.1135.

Based on the relatively minor design updates associated with the proposed DC2, this file was exempted from having to undergo another review for a similar site design. It is important to note that further review by the EDC is required by the applicant/owners at the time of Development Permit stage.

Technical Review

Transportation

With the redevelopment of the site, vehicular access will be limited to the north-south lane to the east of the site that connects 90 Avenue NW and 91 Avenue NW, which will be upgraded to a fully paved commercial standard within the available right-of-way. One car share parking space will be required at the rear of the building.

Through the public engagement process, several community members raised concerns about congested curbside parking along the adjacent avenues east of 99 Street NW. These avenues do not currently have any parking restrictions and parking demands may increase with this development. Traffic Operations will continue to monitor curbside parking demand and work with the neighbourhood to apply tools to manage this where needed, and in line with the City's emerging Curbside Management Strategy.

Drainage

The applicant has submitted a Drainage Servicing Report that has been reviewed and accepted by Development Services for the purpose of supporting this rezoning application. Development allowed under the proposed zone would be required to include on-site stormwater management techniques

utilizing a controlled outflow rate to mitigate its impact on the existing drainage infrastructure. Details of the required on-site stormwater management will be reviewed at the Development Permit stage.

EPCOR Water

The applicant/owner will be responsible for all costs associated with providing City standards for water supply including any changes to the existing water infrastructure required by this application.

To adhere with the requirements of City of Edmonton Design and Construction Standards Volume 4 (April 2021), construction of one (1) new municipal hydrant along 99 Street is required. Edmonton Fire Rescue Services' (EFRS), Fire Protection Engineer may be able to perform an Infill Fire Protection Assessment (IFPA) to potentially alter or lessen on-street fire protection infrastructure upgrades assuming certain criteria are met. At the time this report was written, an IFPA has not yet been concluded.

All other comments from affected City Departments and utility agencies have been addressed.

Appendices

- 1 DC2 Track changes
- 2 Application Summary

Track Changes of Proposed DC2 Against Current DC2.1135

Black Font Existing Text in DC2.1135
~~Strikethrough:~~ Proposed deletion from DC2
Underline: Proposed addition to DC2

1. General Purpose

To accommodate a street-oriented mixed-use development consisting of ground level commercial with residential above, in a manner that creates a positive interface along the adjacent public roadways and is sympathetic to the surrounding neighbourhood context.

2. Area of Application

This Provision shall apply to Lots 1-4 and a portion of Lot 5, Block 125, Plan I21, located on the northeast corner of 99 Street NW and 90 Avenue NW, as shown on Schedule “A” of the Charter Bylaw adopting this Provision, Strathcona.

3. Uses

1. Bars and Neighbourhood Pubs
2. Breweries, Wineries and Distilleries
3. Business Support Services
4. Cannabis Retail Sales
5. Child Care Services

Rationale

6. Commercial Schools
7. Convenience Retail Stores
8. Creation and Production Establishments
9. General Retail Stores
- ~~10. Group Home~~
11. Health Services
12. Indoor Participant Recreation Services
13. Liquor Stores
14. Live Work Unit
15. Lodging Houses
16. Major Home Based Business
17. Market
18. Minor Amusement Establishments
19. Minor Home Based Business
20. Multi-unit Housing
21. Personal Service Shops
22. Private Education Services
23. Professional, Financial and Office Support Services
24. Restaurants
25. Residential Sales Centre

The Group Home use has been updated based on current Zoning Bylaw definitions by replacing it with Supportive Housing. This DC2 proposal restricts this use as Limited Supportive Housing under Section 3.29 below.

- 26. Secondhand Stores
- 27. Special Event
- 28. Specialty Food Services
- 29. Supportive Housing, restricted to Limited Supportive Housing*
- 30. Vehicle Parking
- 31. Veterinary Services
- 32. Urban Gardens
- 33. Fascia On-premises Signs
- 34. Projecting On-premises Signs

4. Development Regulations for Uses

- 1. Personal Service Shops shall not include Body Rub Centres.
- 2. Residential Sales Centres shall be limited to the sale and/or leasing of the Dwellings on Site.
- 3. The maximum Public Space for each Bars and Neighbourhood Pubs, Restaurants or Specialty Food Services Use shall be limited to 120 m².
- 4. Each Secondhand Stores Use shall be limited to 275 m² of Floor Area.
- 5. Breweries, Wineries and Distilleries shall only be allowed if developed in combination with a Restaurant or Bar and Neighbourhood Pub, and the total Public Space, including any private non-sale hospitality area, shall not exceed 120 m².
- 6. All non-Residential and non-Residential-Related Uses shall:

- a. be located in the first Storey;
 - b. each have a separate outside entrance that shall be universally accessible and oriented to face 99 Street NW;
 - c. not be permitted in any freestanding structure separate from a structure containing Residential Uses; and
 - d. have a minimum total combined Floor Area of 150 m² and a maximum total combined Floor Area of 750 m².
7. Where a Uses, ~~that~~ may, in the opinion of the Development Officer, create negative impacts such as noise, light or odours which may be noticeable on adjacent properties, the Development Officer may, at the Development Officer's discretion, require that these potential impacts be minimized or negated. This may be achieved through a variety of measures including: Landscaping or screening, which may exceed the requirements of the Zoning Bylaw; noise attenuation measures such as structural soundproofing; downward direction of all exterior lighting on to the proposed development; and any other measures at the discretion of the Development Officer.
8. Signs shall comply with the General Provisions of Section 59 and Schedule 59E of the Zoning Bylaw.
9. A maximum of 10% of the first Storey glazing may be covered by Signs. The remainder of the glazing shall remain free from obstruction.

5. Development Regulations for Site Layout and Built Form

1. The development shall be in general conformance with the attached appendices.
2. The maximum Floor Area Ratio shall be 3.1.

Reworded for clarity.

3. The maximum Height shall be 27.0 m, except for the enclosed rooftop Amenity Area which shall not exceed 30.0 m in Height.
4. The enclosed rooftop Amenity Area shall be limited to 30% of the Floor Area of the Storey below it.
5. The maximum number of Dwellings shall be ~~60~~ 65.
6. The minimum Setbacks shall be:
 - a. 3.5 m from the west Lot line;
 - b. 8.0 m from the east Lot line;
 - c. 4.5 m from the south Lot line; and
 - d. 2.5 m from the north Lot line.
7. The Underground Parkade shall not be subject to required Setbacks and can extend to all Lot lines provided the Underground Parkade extends no more than 1.2 m above the adjacent ground level and required Landscaping can be provided in the Setback using planters or appropriate green roof technology.
8. The portion of the building above the first Storey shall have minimum Setbacks of:
 - a. 7.5 ~~6~~ m from the west Lot line;
 - b. 10.0 m from the east Lot line;
 - c. 4.5 m from the south Lot line; and
 - d. 4.0 m from the north Lot line.
9. The enclosed rooftop Amenity Area shall have a minimum Setback of:
 - a. 12.0 m from the west Lot line;
 - b. 10.5 m from the east Lot line;

This application increases the number of dwellings from 60 to 65 units to allow efficiencies in the floor plan layouts. This application does not require or propose an increase in FAR to accommodate the desired unit count.

Updated provision to align with the Strathcona ARP policies allowing a 7.5 m minimum setback building portions above the first storey.

Format and re-order change to include bullets for consistency with other setback requirements.

- c. 12.0 m from the south Lot line; and
 - d. 19.5 m from the north Lot line
10. Architectural features such as balconies and roof projections may project into required Setbacks to a maximum of 1.0 m, except on the south Setback where a canopy/balcony may project 3.0 m southward above the main residential entry area. There shall be no projections into the north Setback.
11. The west, south and east Façades shall have a 1.5 m Stepback above the sixth Storey.

6. Development Regulations for Building Design and Features

1. Architectural treatment of all Façades of the building shall create a unified building exterior. The building shall incorporate design elements to reduce the perceived mass and add architectural interest, including but not limited to:
 - a. clear articulation of the Façade;
 - b. the use of a variety of exterior building cladding materials;
 - c. variation of placement and physical breaks of material and architectural; and features; and
 - d. a prominent residential front entrance facing 90 Avenue NW.
2. The development shall address and have individual entrances on both 99 Street NW and 90 Avenue NW and shall provide distinctive architectural features consistent with the style of the building to enhance the corner.
3. Multi-unit Housing shall have access at ground level, which is separate from the access for the non-Residential and non-Residential-Related Uses.

4. For non-Residential and non-Residential-Related Uses in the first Storey, a minimum of 70% of the linear building frontage of the Façades shall be comprised of transparent, non-reflective, non-tinted, unobscured glazing. Linear frontage shall be measured at 1.5 m above the finished Grade of the abutting sidewalk.
5. The rooftop of the first Storey shall provide enhancements to improve rooftop aesthetics. These enhancements may include, but are not limited to, landscape features, Amenity Area, screening elements and improved aesthetic rooftop materials.
6. The parkade wall facing the north lot Line can extend a maximum of 1.2 m above ground level and shall be designed with a pattern or animated surface treatment to avoid a blank concrete appearance. This design treatment shall be required for a minimum distance of 10.0 m from the most westerly edge of the parkade wall.
7. Any portion of the parkade wall that extends above ground level facing the west Lot line shall either be incorporated with stairs connecting the public Walkway to the first Storey entrances or be designed with a pattern or animated surface treatment to avoid a blank concrete appearance.
8. Winter design elements such as the use of colour and functional and decorative lighting to enhance the appearance of the building while minimizing light pollution shall be incorporated.
9. All mechanical equipment, including surface level venting systems and transformers, shall be screened in a manner compatible with the architectural character of the building or be concealed by incorporating it within the building. Ground level vents shall be oriented away from adjacent Sites or on-Site amenity or pedestrian circulation areas.

7. Development Regulations for Parking, Loading, Storage and Access

1. Vehicular access shall be from the abutting Lane.
2. All Vehicle Parking shall be provided within an Underground Parkade and/or as Surface Parking.
3. There shall be a minimum of one (1) car share parking space located at the rear of the building, accessed from the abutting Lane.
- ~~4. Notwithstanding parking regulations of the Zoning Bylaw, Tandem Spaces shall be allowed to be assigned for Non-Residential Uses, as long as they are signed for employees only and not intended to be used by patrons.~~
4. All waste collection and storage areas shall be located within the building, not visible from public roadways, and be designed to the satisfaction of the Development Officer in consultation with Subdivision and Development Coordination (Transportation) and Waste Management Services. Gates and/or doors of the waste enclosure shall not open or encroach into the Lane.
- ~~5. Bicycle Parking shall be provided in accordance with the Zoning Bylaw, except vertical or stacked racks may be used to satisfy bicycle parking requirements if it can be demonstrated that they can be safely and efficiently used to the satisfaction of the Development Officer in consultation with Subdivision and Development Coordination (Transportation). The minimum size of vertical bike parking stalls shall be 0.60 m wide, 2.3 m high, and 1.1 m deep, with a minimum 1.5 m wide aisle.~~

8. Development Regulations for Landscaping, Lighting and Amenity Areas

1. Notwithstanding Landscaping Regulations of the Zoning Bylaw, Landscaping shall be provided in general conformance with Appendix 2 and the following:

Deleted provision to reflect the removed tandem space proposed in the DC2 Site plan appendix.

Deleted provision as these bicycle parking dimensions are now consistent with the standard Zoning Bylaw regulations (54.5 Bicycle Parking Facilities)

- a. Two deciduous trees shall be required; and
 - b. At least 20 shrubs shall be required to be integrated with the stairs adjacent to the west lot line. This may be achieved through the use of permanent or moveable planters.
2. The required Landscape Plan shall be prepared by a registered AALA landscape architect.
3. Landscaping on the Site shall include the use of plant materials that provide colour throughout the year to enhance the appearance of the development during the cold weather months.
4. Landscaping that extends onto City-owned lands shall be developed in accordance with the Traffic Bylaw 5590 and the City Design and Construction Standards to the satisfaction of the Development Officer in consultation with Subdivision and Development Coordination (Transportation).
5. The Landscape Plan shall address the interface between the public and private realm along the west Façade of the ground floor and 99 Street NW. The plan shall include the following design elements, to the satisfaction of the Development Officer:
 - a. Patios, benches and/or seating areas;
 - b. Trees and/or decorative landscaping;
 - c. Permanent planters and/ or moveable planters;
 - d. Decorative retaining walls, paving, and other surface treatments; and
 - e. Pedestrian-scaled lighting.
6. For Residential Uses, a minimum Amenity Area of ~~15.0~~ 8.5 m² per Dwelling shall be provided through the following:

Requires planters and retaining walls to incorporate decorative surfaces to avoid a monolithic appearance.

Amenity area requirements revised to allow better floor

- a. Indoor Common Amenity Area that may include, but is not limited to, lounges, entertainment rooms, bicycle rooms and fitness rooms;
- b. Outdoor Common Amenity Area in the form of a Rooftop Terrace with the following characteristics:
 - i. a minimum size of 125 m²
 - ii. be located on the south side of the building and have a minimum Stepback of 9.0 m from the east building Façade and a minimum 14.0 m Stepback from the north building Façade.
 - iii. include a deck, planters and communal barbecue facilities; and
- c. Platform Structures in the form of balconies with a minimum depth of 1.5 m.

design efficiencies while incorporating ample amenity spaces for residents beyond the standard 7.5 m² amenity area per unit for Multi-unit Housing developments.

9. Other Regulations

1. Prior to the issuance of a Development Permit for construction of the principal building, a Wind Impact Study shall be submitted for review. The development shall incorporate design features to minimize adverse microclimatic effects such as wind tunneling, snow drifting, rain sheeting both on and off Site, consistent with the recommendations of the Wind Impact Study. Special attention in the Wind Impact Study shall be given to ensure the ground level area in the west and south of the Site is properly protected from any adverse impacts.
2. Prior to the issuance of the Development Permit, a detailed exterior lighting plan shall be provided to the satisfaction of the Development Officer. Decorative and security lighting shall be designed and finished in a manner consistent with the design and finishing of the development and shall be provided to ensure a safe well-lit environment. All exterior lighting of the Site shall be designed to ensure that it is directed away from the adjacent residential development and that illumination

shall not extend beyond the boundaries of the site nor upwards into the sky in accordance with the Zoning Bylaw.

3. Site and building layouts shall include design elements that take the principles of Crime Prevention Through Environmental Design (CPTED) into consideration. These elements may include, but are not limited to, elements that allow for natural surveillance, increase sightlines and use; and high quality interior and exterior lighting. The physical layout and landscaping shall reduce the vulnerability of pedestrians by avoiding areas of concealment or entrapment such as: long public corridor spaces, stairwells, or other movement predictors; avoiding landscaping hazards such as: unpruned trees, rocks that can be thrown, or blind corners; and by locating parking areas close to building access points and using wayfinding mechanisms. The Development Officer may require a Crime Prevention Through Environmental Design assessment prepared by a qualified security consultant, and may apply conditions to the approval of the Development Permit based on the recommendations of the CPTED assessment to promote a safe physical environment.
4. An arborist report and tree preservation plan to the satisfaction of the Development Officer in consultation with Urban Forestry, shall be submitted with the Development Permit application to determine the impact of the proposed development, including excavation and construction, on the existing boulevard trees along 90 Avenue NW. If required by the Development Officer, an air spading tool shall be used to determine the amount and size of roots that may need to be cut for the parkade/foundation wall. If:
 - a. the arborist report indicates that the development will unduly compromise the ongoing viability and health of a tree or trees, each tree shall be removed as part of the redevelopment of the site. The owner/developer shall be responsible for the cost of removal as well as for compensating the City for

the value of the tree being removed. If required by the Development Officer, each tree removed shall be replaced by a new tree in an enhanced growing soil medium in the form of soil cells or continuous trenches, at the cost of the owner; or

- b. the arborist report indicates that the development will not unduly compromise the ongoing viability and health of a tree or trees, each tree shall be retained and protected as per the City's Corporate Tree Management Policy C456~~BC~~.

5. The storm and sanitary drainage systems required to service the development, including on-site stormwater management, shall be in general conformance with the Drainage Servicing Report or alternatives to the satisfaction of the Development Officer in consultation with Development Services (Drainage).

6. Notwithstanding the other Development Regulations and Appendices of this Provision and the Zoning Bylaw, in the event that the owner/developer does not obtain a Building Permit and commence construction of the principal building under a valid Development Permit within 5 years of the passage of the Charter Bylaw adopting this Provision, development of the Site shall be in accordance with this Provision, except that:

- a. the maximum Height shall be 16.0 m; and
- b. the maximum Floor Area Ratio shall be 2.5.

10. Public Improvements and Contributions

~~1. Prior to the issuance of a Development Permit for:~~
~~a. a building that contains 12 or more Dwelling units; or~~

Updated policy reference number based on the adoption of City Policy C456C and the repeal of C456B.

Deleted provision due to repeal of City Policy C582 - Developer Sponsored Affordable Housing.

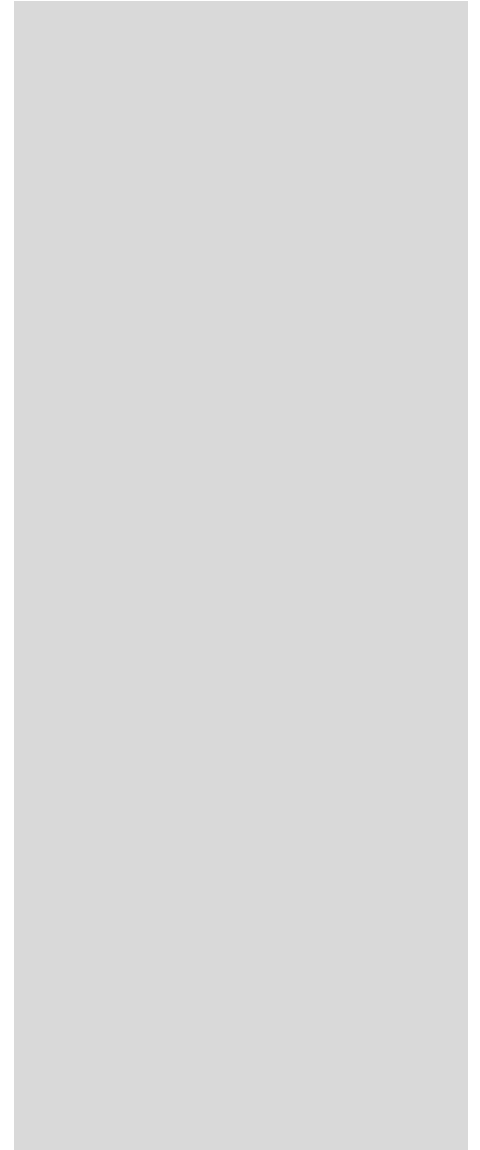
~~b. a building that contains less than 12 Dwelling units, but is part of a Site with 12 or more Dwelling units in total;~~

~~the Development Officer shall ensure a signed agreement has been executed between the City and the owner, requiring the owner to provide the City, at the time of each Development Permit approval, the option to purchase up to 5% of the proposed number of Dwelling units (rounded to the nearest Dwelling unit) in each building with Dwelling units, at 85% of market value or the equivalent value as cash in lieu (at the discretion of the owner) to the City.~~

2. As a condition of a Development Permit for construction of a principal building, the owner shall enter into an Agreement with the City of Edmonton for off-Site improvements necessary to serve or enhance the development, to the satisfaction of the Development Officer in consultation with Subdivision and Development Coordination (Transportation). Such improvements shall be constructed at the owner's cost. The Agreement process shall include an engineering drawing review and approval. Improvements to address in the Agreement include, but are not limited to:
 - a. the repair of any damage to the Abutting roadways, sidewalks and/or boulevard, including the Lane not directly adjacent to the Site but which may be used for construction purposes, caused by the construction of the development. ~~The Site shall be inspected by the City prior to the start of construction and when construction is complete;~~
 - b. upgrade of the north-south lane between 90 Avenue NW and 91 Avenue NW to a commercial alley standard;
 - c. removal of the existing access to 90 Avenue NW and construction of the boulevard, curb, and gutter as required; and

Deleted to align with the standard inspection process to be completed as follow-up requirements when a Development Permit is approved.

- d. improvements to the public realm along 99 Street NW directly Abutting the Site. These improvements shall include, but are not limited to, provision of a new sidewalk, pedestrian-oriented street lighting, enhanced paving treatment and street furniture to the satisfaction of the Development Officer in consultation with Subdivision and Development Coordination (Transportation).

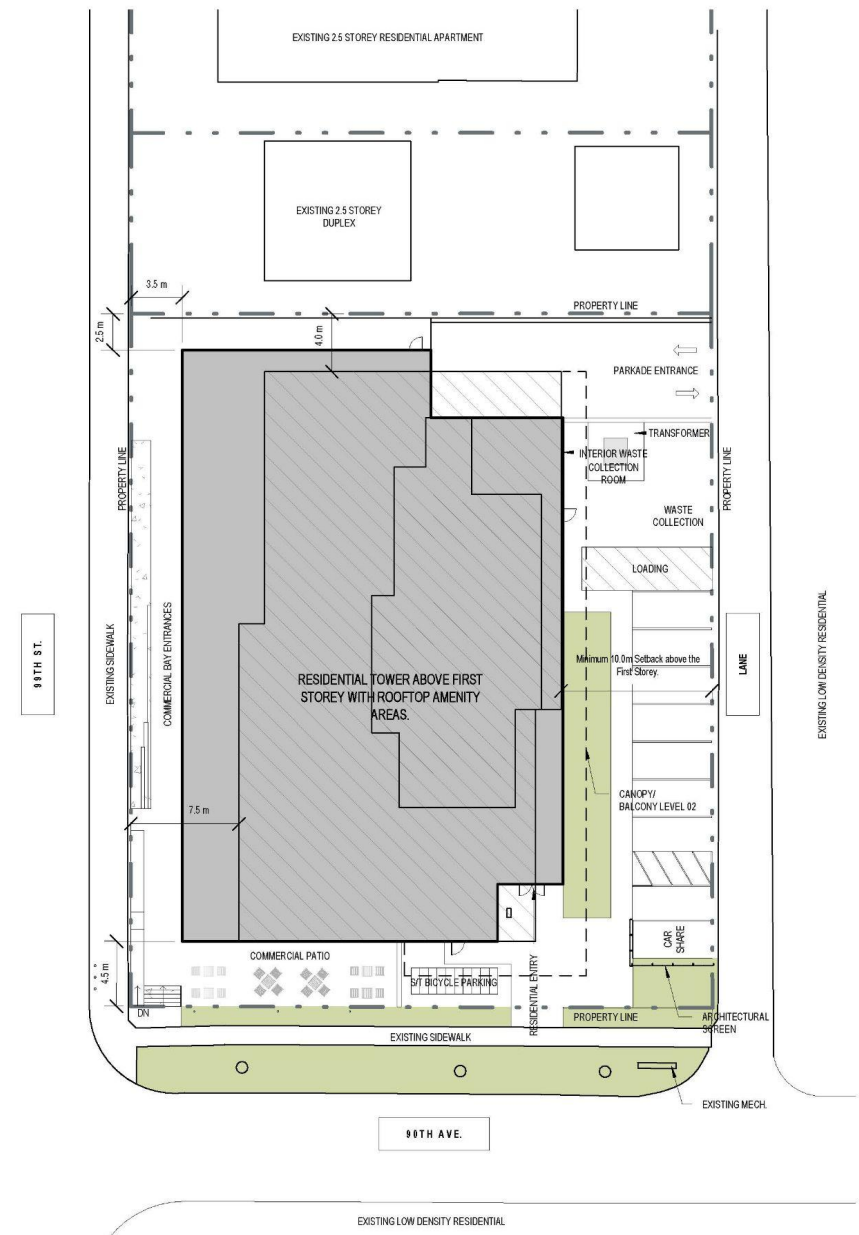


APPENDIX 1. Site Plan



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DC2.1135 - Site Plan



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APPENDIX 01 SITE PLAN

HODGSON
SCHILF
EVANS
ARCHITECTS INC.

Proposed DC2 - Site Plan

APPENDIX 2. West and South Elevations



DC2.1135 - West and South Elevation



APPENDIX 03 WEST ELEVATION

Proposed DC2 - West Elevation

APPENDIX 2. West and South Elevations



- 1. Cementitious/Architectural Cladding
- 2. Glazing
- 3. Architectural Cladding
- 4. Architectural Cladding
- 5. Woodgrain Cladding
- 6. Cementitious/Architectural Cladding
- 7. Cementitious/Architectural Cladding
- 8. Architectural Screen
- 9. Concrete
- 10. Decorative Concrete Pattern



- 1. Cementitious/Architectural Cladding
- 2. Glazing
- 3. Architectural Cladding
- 4. Architectural Cladding
- 5. Woodgrain Cladding
- 6. Cementitious/Architectural Cladding
- 7. Architectural Screen

APPENDIX 04 SOUTH ELEVATION



DC2.1135 - West and South Elevation

Proposed DC2 - South Elevation

APPENDIX 3. East and North Elevations



APPENDIX 05 EAST ELEVATION

HODGSON
SCHILF
EVANS
ARCHITECTS INC.

DC2.1135 - East and North Elevation

Proposed DC2 - East Elevation

APPENDIX 3. East and North Elevations



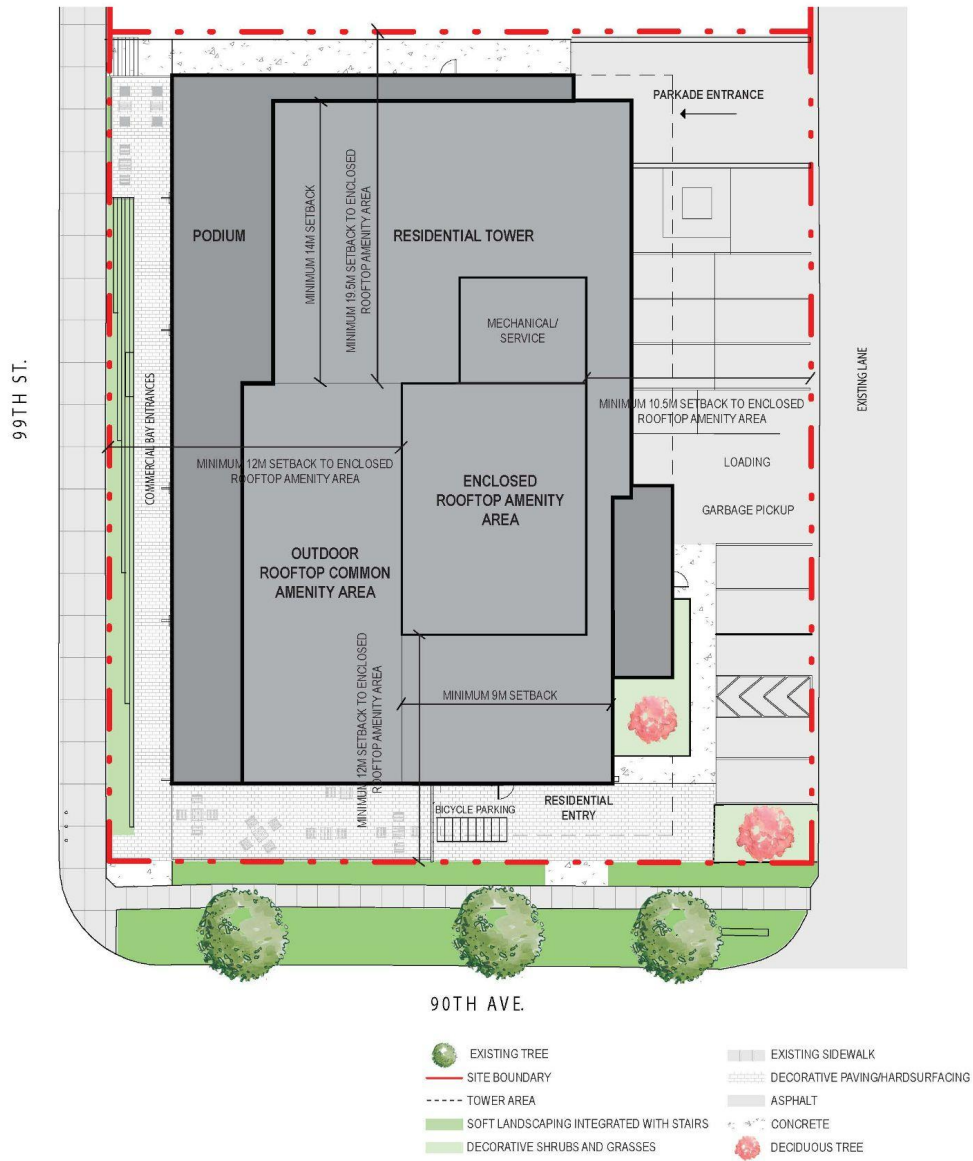
APPENDIX 06 NORTH ELEVATION



DC2.1135 - East and North Elevation

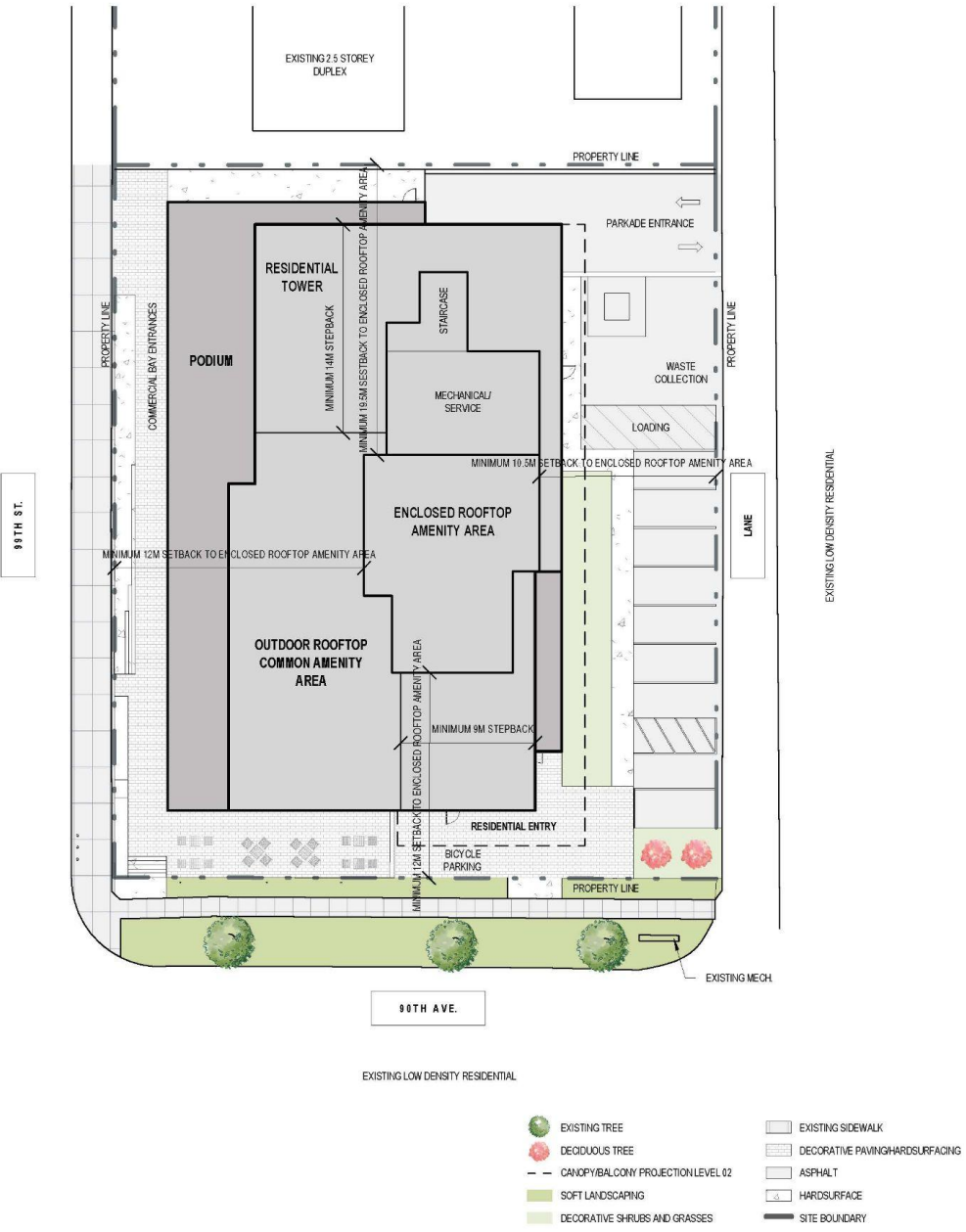
Proposed DC2 - North Elevation

APPENDIX 4. Landscape Concept



CONCEPTUAL LANDSCAPE PLAN

DC2.1135 - Landscape Concept



APPENDIX 02 CONCEPTUAL LANDSCAPE PLAN

Proposed DC2 - Landscape Concept

Application Summary

Information

Application Type:	Rezoning
Charter Bylaw:	20223
Location:	North of 90 Avenue NW and east of 99 Street NW
Addresses:	9860 & 9854 - 90 Avenue NW and 9013 & 9009 - 99 Street NW
Legal Description(s):	Lots 1-4 and a portion of Lot 5, Block 125, Plan I21
Site Area:	1925.5 m ²
Neighbourhood:	Strathcona
Ward:	papastew
Notified Community Organizations:	Strathcona Community League and the Central Area Council of Community Leagues
Applicant:	Beljan Development

Planning Framework

Current Zone:	(DC2) Site Specific Development Control Provision
Proposed Zone:	(DC2) Site Specific Development Control Provision
Plan in Effect:	Strathcona Area Redevelopment Plan
Historic Status:	None

Written By:	Marty Vasquez
Approved By:	Tim Ford
Branch:	Development Services
Section:	Planning Coordination