

Bylaw 20234

A Bylaw to amend Bylaw 11870, as amended,

being the Ellerslie Area Structure Plan

WHEREAS pursuant to the authority granted to it by the Municipal Government Act, on January 5, 1999 the Municipal Council of the City of Edmonton passed Bylaw 11870, as amended, being the Ellerslie Area Structure Plan; and

WHEREAS Council found it desirable to amend Bylaw 11870, as amended, the Ellerslie Area Structure Plan through the passage of Bylaws 12111, 12581, 12609, 13450, 13535, 13665, 14012, 14146, 14266, 14508, 14518, 14583, 14723, 14693, 15067, 15345, 15713, 16446, 16593, 16668, 17085, 17654, 17714, 17802, 17756, 18264, 18274, 18594, 18919, 19148, 19344, 19359, 19444, 19656, 19706, 19726, 19848, 20030, and 20137; and

WHEREAS an application was received by Administration to amend the Ellerslie Area Structure Plan; and

WHEREAS Council considers it desirable to amend the Ellerslie Area Structure Plan;

NOW THEREFORE after due compliance with the relevant provisions of the Municipal Government Act RSA 2000, ch. M-26, as amended, the Municipal Council of the City of Edmonton duly assembled enacts as follows:

- 1) That Bylaw 11870, as amended, the Ellerslie Area Structure Plan is hereby further amended by:
  - a. deleting the second bullet point in Section 5.5.1 Special Study Area - Wernerville Country Residential in its entirety and replacing it with the following:

“Five properties zoned for commercial uses at 7030 Ellerslie Road SW (Lot G, Block 1, Plan 3027 KS), 6830 Ellerslie Road SW (Lot F, Block 1, Plan 3027 KS), 811 - 75 Street SW (Lot 1, Block 1, Plan 9321197), 707 - 75 Street SW (Lot 2, Block 1, Plan 9321197), and 6704 Ellerslie Road SW (Lot A, Block 1, Plan 2497KS); and”
  - b. deleting the Map entitled “Bylaw 20137 Ellerslie Area Structure Plan” and replacing it with the Map entitled “Bylaw 20234 Amendment to Ellerslie Area Structure Plan”, attached hereto as Schedule “A” and forming part of this Bylaw;

- c. deleting the statistics entitled “Ellerslie Area Structure Plan - Land Use and Population Statistics - Bylaw 20137” and replacing it with the statistics entitled “Ellerslie Area Structure Plan - Land Use and Population Statistics - Bylaw 20234” attached hereto as Schedule “B” and forming part of this Bylaw;
- d. deleting the map “Figure 6 Development Concept” and replacing with the map “Figure 6 Development Concept” attached hereto as Schedule “C”, and forming part of this Bylaw;
- e. deleting the map “Figure 7 Storm Drainage” and replacing with the map “Figure 7 Storm Drainage” attached hereto as Schedule “D”, and forming part of this Bylaw;
- f. deleting the map “Figure 8 Sanitary Drainage” and replacing with the map “Figure 8 Sanitary Drainage” attached hereto as Schedule “E”, and forming part of this Bylaw;
- g. deleting the map “Figure 9 Water Distribution” and replacing with the map “Figure 9 Water Distribution” attached hereto as Schedule “F”, and forming part of this Bylaw;
- h. deleting the map “Figure 10 Circulation System” and replacing with the map “Figure 10 Circulation System” attached hereto as Schedule “G”, and forming part of this Bylaw; and
- i. deleting the map “Figure 11 Neighbourhood and Staging Concept” and replacing with the map “Figure 11 Neighbourhood and Staging Concept ” attached hereto as Schedule “H”, and forming part of this Bylaw.

READ a first time this	day of	, A. D. 2022;
READ a second time this	day of	, A. D. 2022;
READ a third time this	day of	, A. D. 2022;
SIGNED and PASSED this	day of	, A. D. 2022.

THE CITY OF EDMONTON

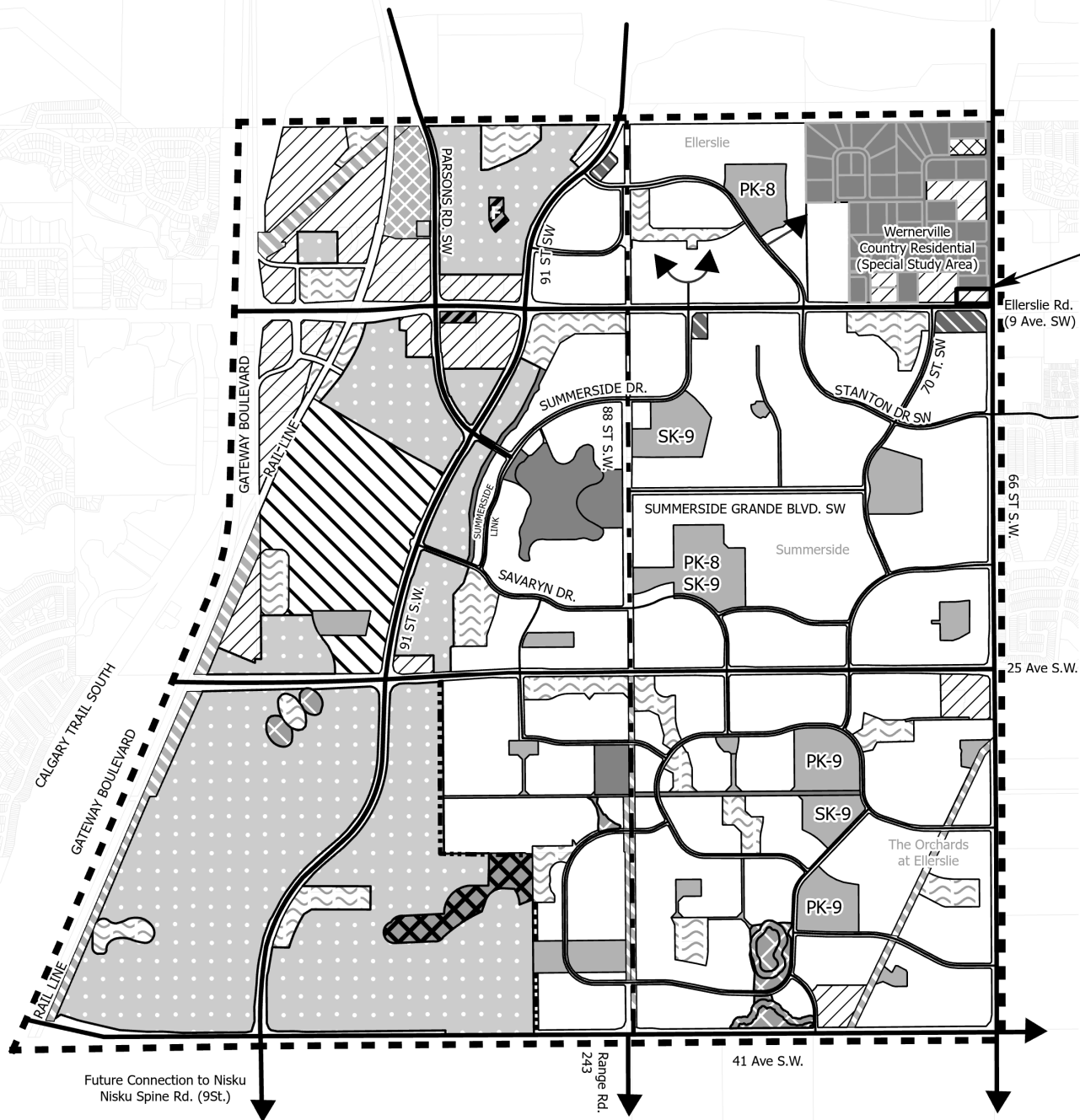
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MAYOR

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CITY CLERK

**Amendment  
Area**



**BYLAW 20234  
AMENDMENT TO  
ELLERSLIE  
Area Structure Plan  
(as amended)**

	Residential		Stormwater Facility		Pipeline Corridor
	Neighbourhood Commercial		Natural Area		Mixed Use
	Commercial		Industrial Education Facility		ASP Boundary
	Commercial (Special Area)		Institutional		Arterial
	Industrial (Special Area)		Southeast Woodland Natural Area		Collector
	School/Park Site		Future Fire Rescue Service Station		Power Corridor
	Private Open Space		Wernerville Country Residential (Special Study Area)		Transition Area
				PK-8	Public K-8 School
				SK-9	Separate K-9 School
					Amendment Area

**Note:** Location of collector roads and configuration of stormwater management facilities are subject to minor revisions during subdivision and rezoning of the neighbourhood and may not be developed exactly as illustrated.

**ELLERSLIE AREA STRUCTURE PLAN  
LAND USE AND POPULATION STATISTICS  
BYLAW 20234**

	Area (ha)	%
<b>GROSS AREA</b>	<b>1451.5</b>	100.0%
Natural Area (Environmental Reserve)	6.6	0.5%
Pipeline & Utility Right-of-Way	63.0	4.3%
Arterial Road Right-of-Way	67.2	4.6%
30 Avenue (Existing Gov't Right-of-Way)	2.0	0.1%
<b>GROSS DEVELOPABLE AREA*</b>	<b>1312.7</b>	<b>100%</b>
Existing Land Uses (Country Residential Development)	44.6	3.4%
Commercial / Residential Mixed Use **	0.4	0.0%
Commercial	83.9	6.4%
Parkland, Recreation, School		
School / Park (Municipal Reserve)	76.4	5.8%
Private Open Space / Resident Association	25.7	2.0%
Transition Area	3.2	0.2%
Institutional / Urban Service		
Fire Station	0.6	0.05%
Institutional and Community Service	3.6	0.3%
Transportation		
Circulation	193.2	14.7%
Industrial	287.2	21.9%
Industrial Education Facility	59.0	4.5%
Infrastructure and Servicing		
Public Utility Lots and Stormwater Management	63.4	4.8%
Total Non-Res Area	841.1	64.1%
Net Residential Area	471.6	35.9%

**RESIDENTIAL LAND USE AREA, UNIT & POPULATION COUNT**

Land Use	Area (ha)	Units/ha	Units	People/Unit	Population	% of NRA
Low Density Residential (LDR)	401.62	25	10041	2.8	28113	85%
Street Oriented Residential (SOR)	9.77	40	391	2.8	1094	2.1%
Row Housing	7.74	45	348	2.8	975	1.7%
Medium Density Residential (MDR)	52.8	90	4752	1.8	8554	11.3%
<b>Total Residential</b>	<b>471.62</b>		<b>15532</b>		<b>38736</b>	<b>100%</b>

**SUSTAINABILITY MEASURES**

Population Per Net Residential Hectare (ppnrha)	82
Units Per Net Residential Hectare (upnrha)	33
LDR/MDR Unit Ratio	64% / 36%

	Elementary (K-6)	Junior/Senior High School (7-12)	Total
<b>Student Generation</b>			
Public	1,586	1,586	3,172
Separate	635	317	952
Total	2,221	1,903	4,124

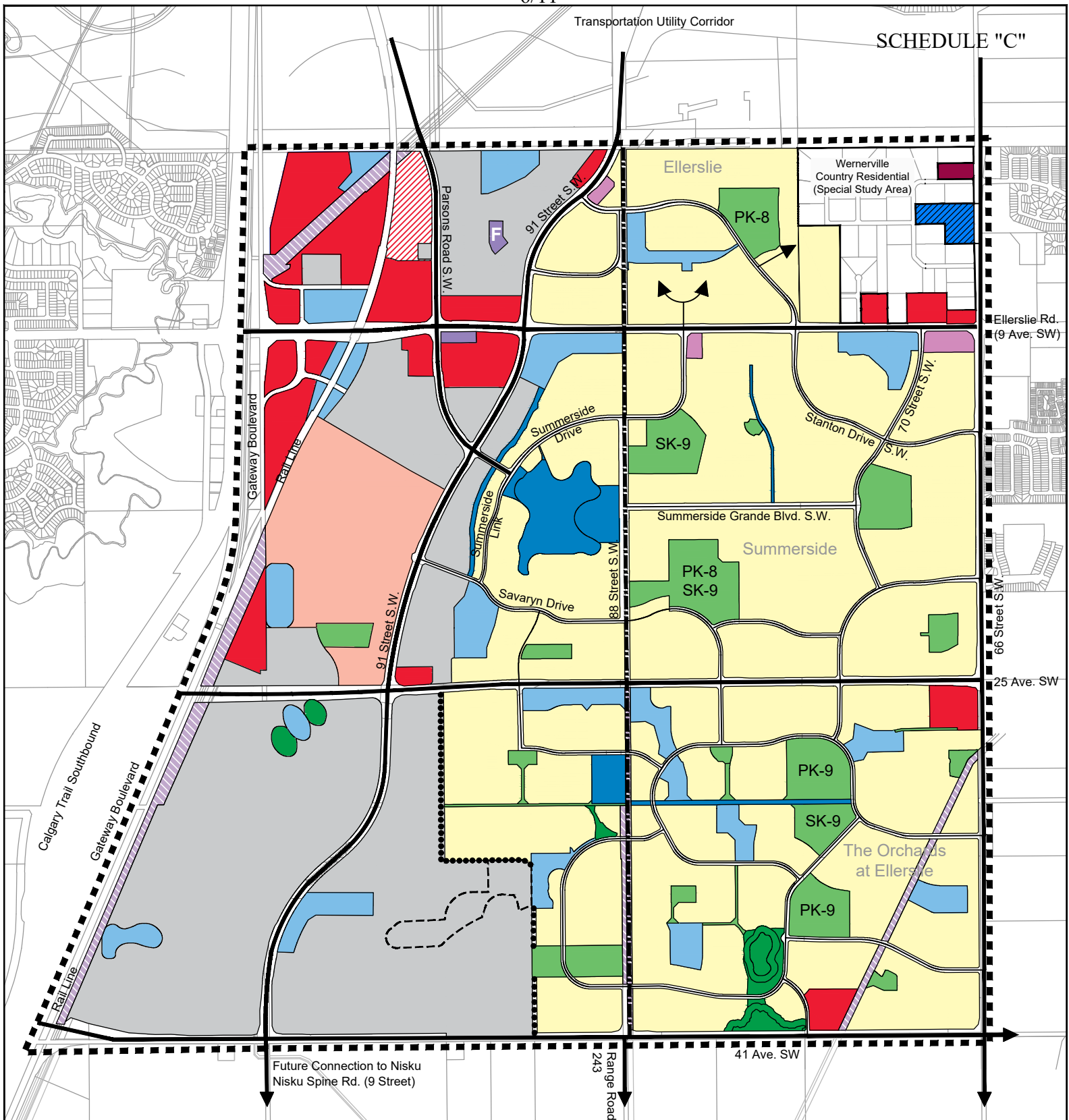


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Notes:

\*Where the vision, goals and objectives of an ASP reflect the context of a particular area, some land uses may not be entirely necessary or desirable. Calculations for Neighbourhoods reflect a general framework for future development and are estimates. Detailed calculations will be prepared during the NSP approval stage. Applicants are advised to consult with the Planning and Development Department for up-to-date housing mix guidelines, unit and population factors, and School Boards specifically regarding school need and student generation factors. Residential land use is generally depicted on the Land Use Concept map.

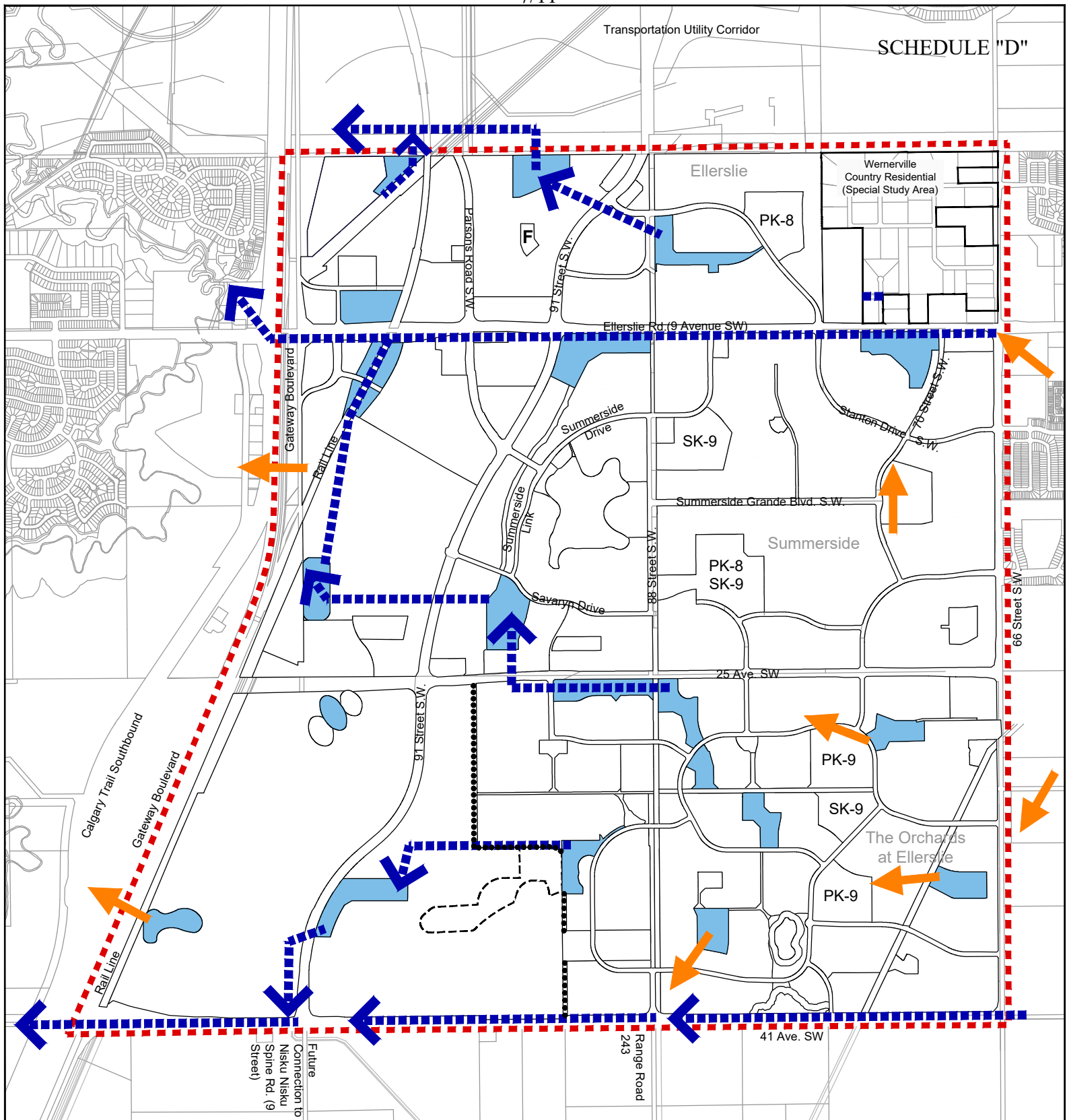
\*\*The total area of this designation is 1.18 ha. The assumed split between residential and non-residential (retail and office)



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|---|---|
| <span style="display:inline-block; width:15px; height:15px; background-color:yellow; border:1px solid black;"></span> Residential                                 | <span style="display:inline-block; width:15px; height:15px; background-color:purple; border:1px solid black;"></span> Mixed Use   |
| <span style="display:inline-block; width:15px; height:15px; background-color:lightpurple; border:1px solid black;"></span> Neighbourhood Commercial               | <span style="display:inline-block; width:15px; height:15px; background-color:orange; border:1px solid black;"></span> Industrial Education Facility                         |
| <span style="display:inline-block; width:15px; height:15px; background-color:red; border:1px solid black;"></span> Commercial                                     | <span style="display:inline-block; width:15px; height:15px; background-color:lightblue; border:1px solid black;"></span> Southeast Woodland Natural Area                    |
| <span style="display:inline-block; width:15px; height:15px; background-color:red; border:1px solid black; border-style:dashed;"></span> Commercial (Special Area) | <span style="display:inline-block; width:15px; height:15px; background-color:blue; border:1px solid black; border-style:dashed;"></span> Future Fire Rescue Service Station |
| <span style="display:inline-block; width:15px; height:15px; background-color:grey; border:1px solid black;"></span> Industrial (Special Area)                     | <span style="display:inline-block; width:15px; height:15px; background-color:yellow; border:1px solid black; border-style:dotted;"></span> PK-8 Public K-8 School           |
| <span style="display:inline-block; width:15px; height:15px; background-color:blue; border:1px solid black; border-style:diagonal;"></span> Institutional          | <span style="display:inline-block; width:15px; height:15px; background-color:yellow; border:1px solid black; border-style:diagonal;"></span> SK-9 Separate K-9 School       |
| <span style="display:inline-block; width:15px; height:15px; background-color:lightblue; border:1px solid black;"></span> Stormwater Facility                      | <span style="display:inline-block; width:15px; height:15px; background-color:purple; border:1px solid black; border-style:diagonal;"></span> Pipeline Corridor              |
| <span style="display:inline-block; width:15px; height:15px; background-color:green; border:1px solid black;"></span> School/Park Site                             | <span style="display:inline-block; width:15px; height:15px; background-color:yellow; border:1px solid black; border-style:thick;"></span> Power Corridor                    |
| <span style="display:inline-block; width:15px; height:15px; background-color:darkblue; border:1px solid black;"></span> Private Open Space                        | <span style="display:inline-block; width:15px; height:15px; background-color:yellow; border:1px solid black; border-style:thick;"></span> Arterials                         |
| <span style="display:inline-block; width:15px; height:15px; background-color:darkgreen; border:1px solid black;"></span> Natural Area                             | <span style="display:inline-block; width:15px; height:15px; background-color:yellow; border:1px solid black; border-style:thick;"></span> Collector                         |
| <span style="display:inline-block; width:15px; height:15px; border:1px solid black; border-style:dotted;"></span> Transition Area                                 | <span style="display:inline-block; width:15px; height:15px; background-color:yellow; border:1px solid black; border-style:thick;"></span> ASP Boundary                      |

**Figure 6**  
Development Concept  
Ellerslie Area Structure Plan

**Note:**  
Location of collector roads and configuration of stormwater management facilities are subject to minor revisions during subdivision and rezoning of the neighbourhood and may not be developed exactly as illustrated.



### Legend

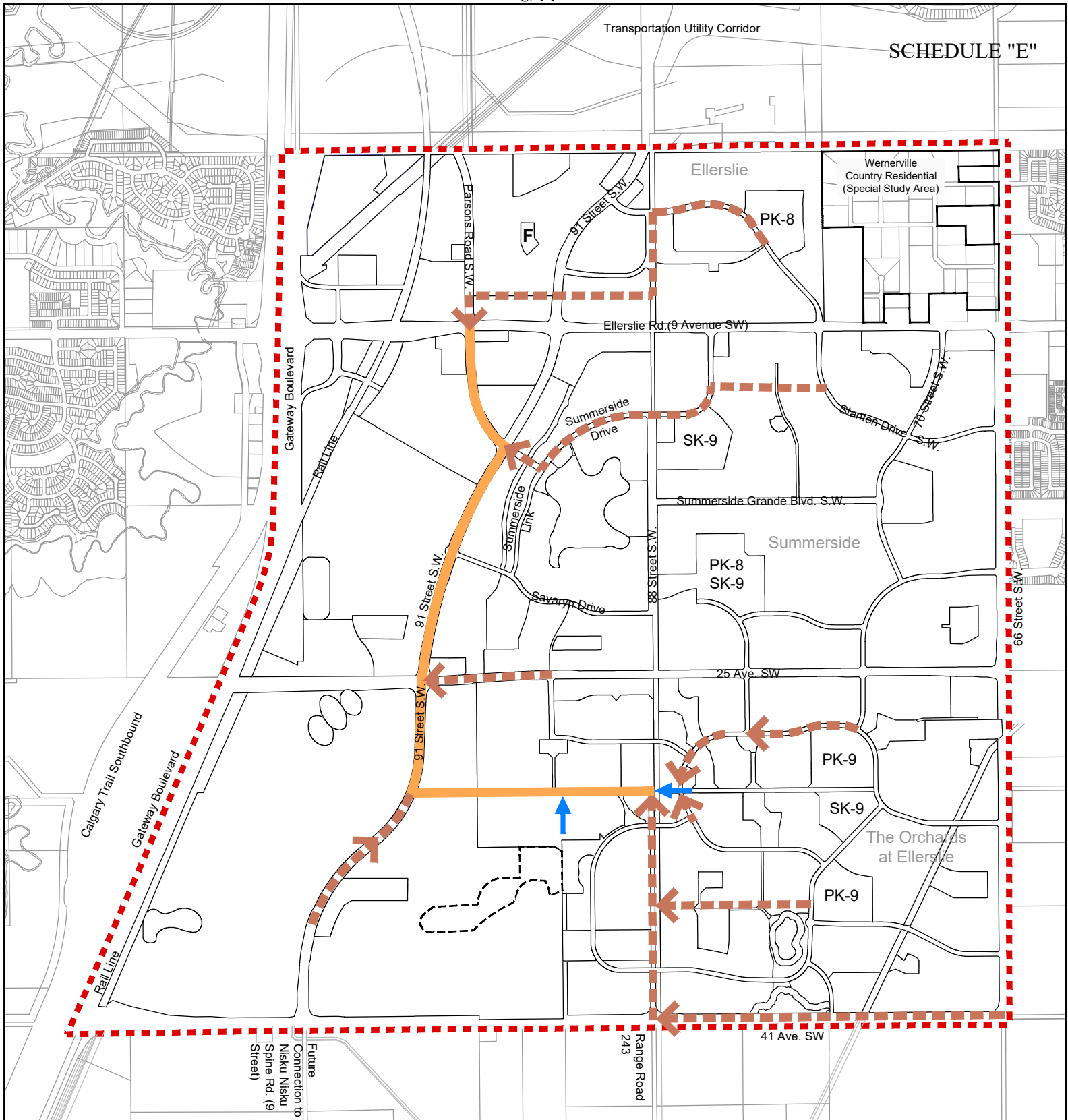
- Stormwater Facility
- Direction Of Drainage
- Storm Sewers
- ASP Boundary

### Note:





Location of collector roads and configuration of stormwater management facilities are subject to minor revisions during subdivision and rezoning of the neighbourhood and may not be developed exactly as illustrated.



**Figure 7**  
**Storm Drainage**  
 Ellerslie Area Structure Plan



### Legend

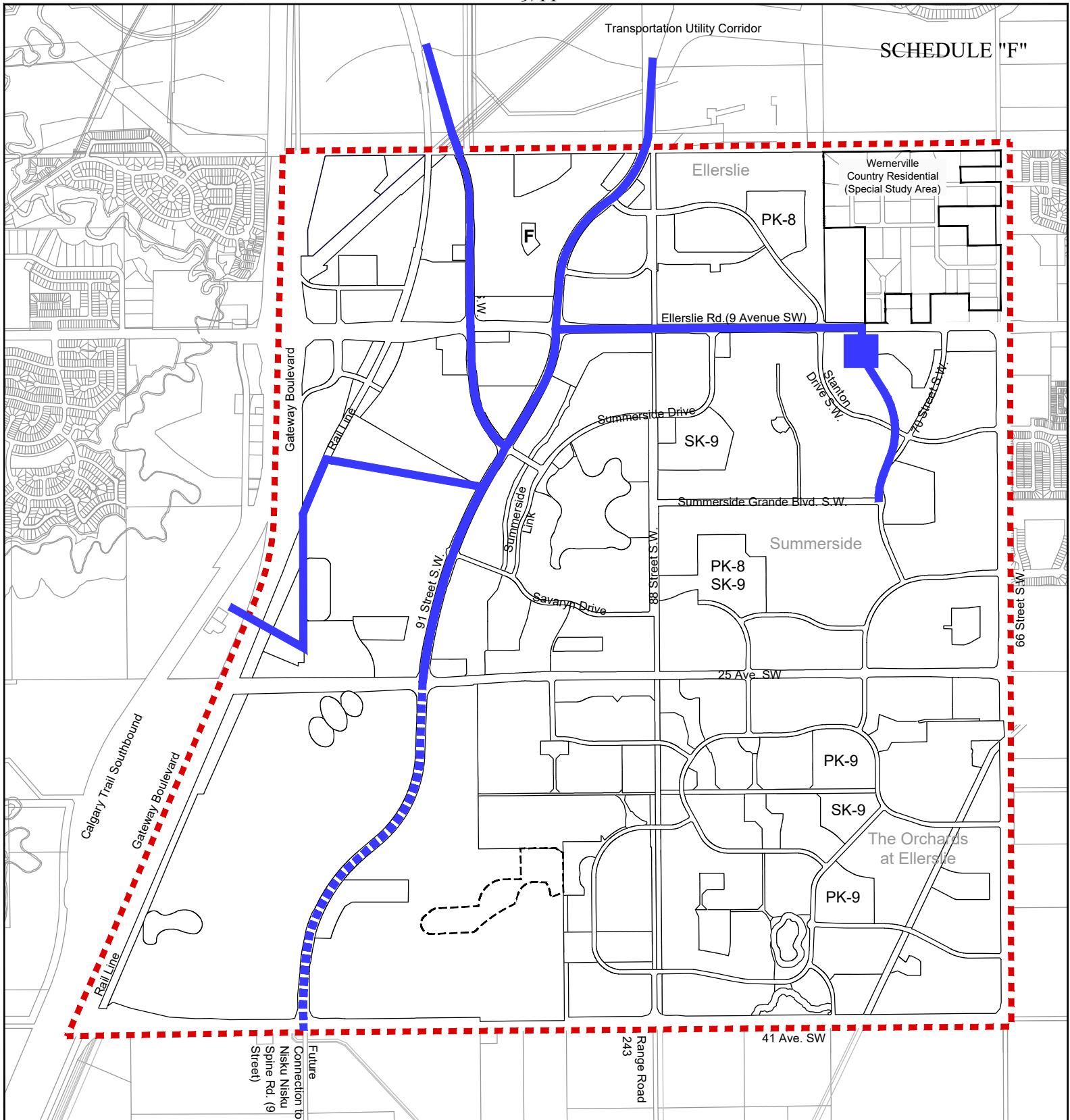
-  Direction Of Drainage
-  On-site Trunks
-  SESS Sewer
-  ASP Boundary

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**Figure 8**  
**Sanitary Drainage**  
 Ellerslie Area Structure Plan



### Legend

- Water Transmission Main
- - - Future Water Transmission Main
- Booster Station
- - - - - ASP Boundary

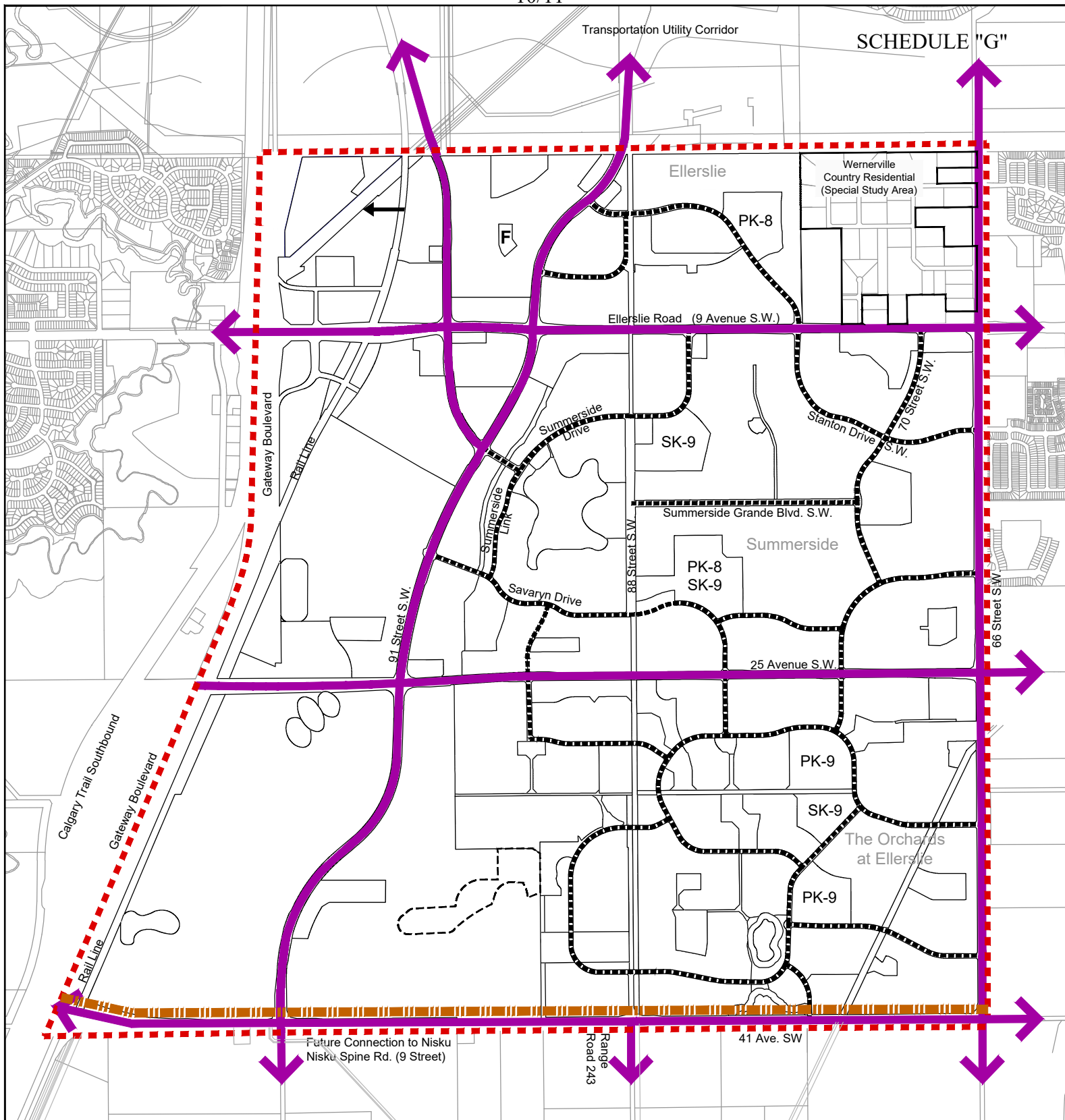
### Note:

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**Figure 9**  
**Water Distribution**  
**Ellerslie Area Structure Plan**





### Legend

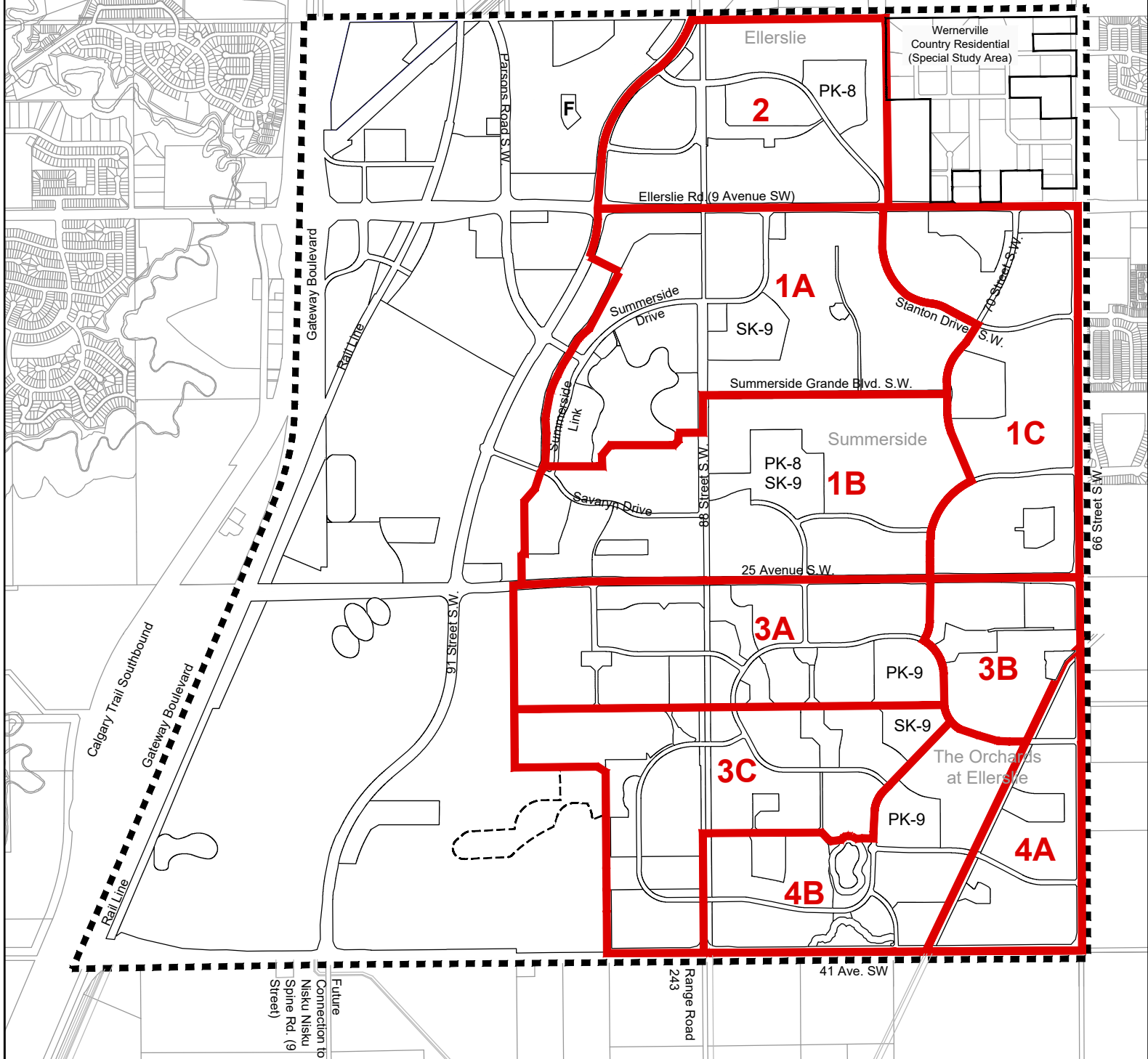
- Arterial Roadway
- Major Regional Facility
- Collector-Undivided
- ↔ Access (Exact Location to be Determined in Consultation with Transportation Department and Railway Company)
- ASP Boundary

### Note:

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**Figure 10**  
Circulation System  
Ellerslie Area Structure Plan



## Legend

- Stage Boundary
- - - - ASP Boundary

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**Figure 11**  
Neighbourhood &  
Staging Concept  
Ellerslie Area Structure Plan