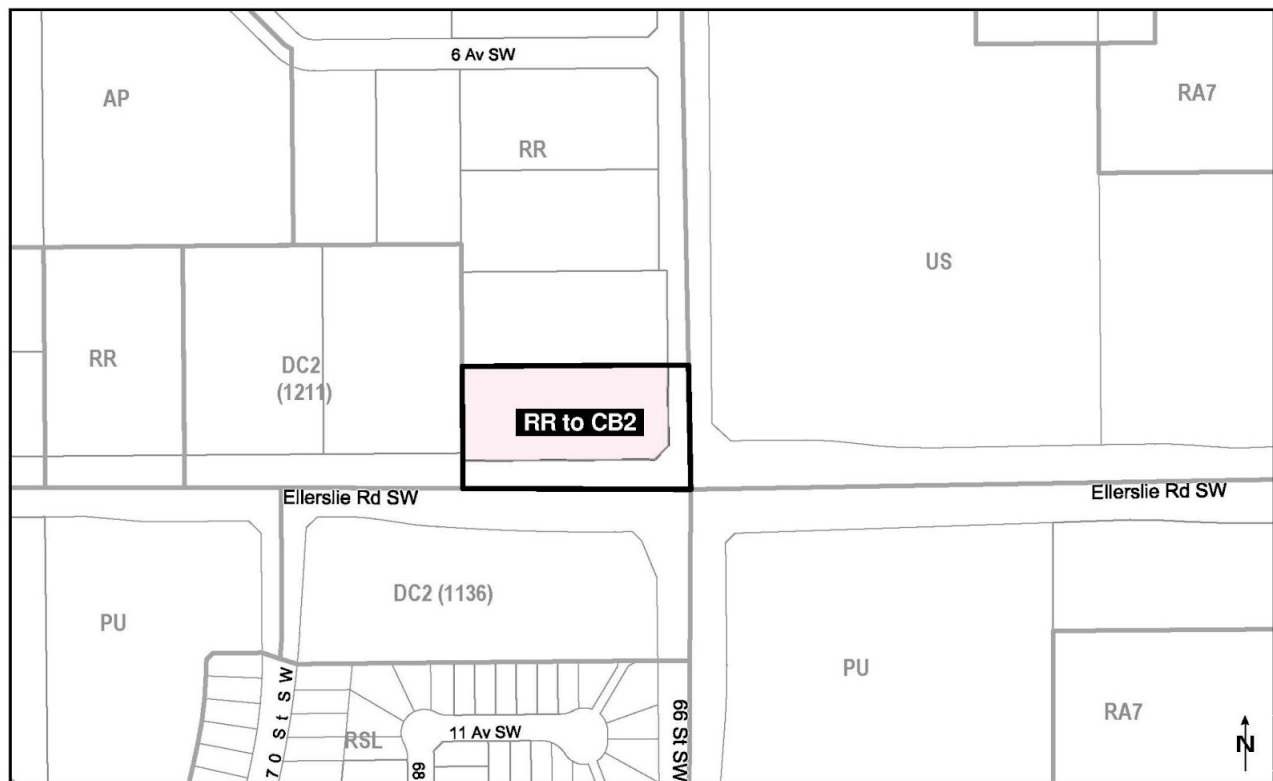


# Administration Report Ellerslie

Edmonton

## 6704 Ellerslie Road SW

To rezone land for the development of commercial uses and amend the Ellerslie Area Structure Plan and Ellerslie Neighbourhood Structure Plan.



**Recommendation:** That **Bylaw 20234** to amend the Ellerslie Area Structure Plan, **Bylaw 20235** to amend the Ellerslie Neighbourhood Structure Plan and **Charter Bylaw 20236** to amend the Zoning Bylaw from (RR) Rural Residential Zone to (CB2) General Business Zone be **APPROVED**.

Administration **SUPPORTS** this application because it:

- Will diversify the land use composition in the Ellerslie area by facilitating the development of commercial, office, service and above-grade residential uses.
- Aligns with strategic intensification objectives of The City Plan at an appropriate location along the secondary corridor of Ellerslie Road SW.

- Will facilitate the development of a portion of the Wernerville Country Residential Special Study area to an urban standard.

## Application Summary

**BYLAW 20234** proposes to amend the Ellerslie Area Structure Plan (ASP) by removing the subject site from the Wernerville Country Residential Special Study Area and designating it for Commercial uses.

**BYLAW 20235** proposes to amend the Ellerslie Neighbourhood Structure Plan (NSP) by removing the subject site from the Wernerville Country Residential Special Study Area and designating it for Commercial uses.

**CHARTER BYLAW 20236** proposes to amend the Zoning Bylaw, as it applies to the subject site, from (RR) Rural Residential Zone to (CB2) General Business Zone, to facilitate the development of a range of commercial, office, service, and above-grade residential uses.

This application was accepted on September 23, 2021, from SPA Engineering on behalf of 1720032 Alberta Ltd.

This proposal aligns with the goals and policies of The City Plan.

## Community Insights

This application was shared with the public using the Basic Approach because the proposed land uses are compatible with the surrounding area and no responses were received to the advance notice postcard.

The Basic Approach included the following techniques:

**Advance Notice** to property owners within 130 m and the Ellerslie and Horizon Community Leagues, October 25, 2021.

- Number of recipients: 21
- Number of responses with concerns: 0

### Webpage

- [edmonton.ca/ellerslieplanningapplications](https://edmonton.ca/ellerslieplanningapplications)

No comments were received at the time this report was written.

## Site and Surrounding Area

The subject site is 0.8 hectares in size and located at the northwest corner of Ellerslie Road SW and 66 Street SW. The site to the west permits low intensity commercial, office and service uses and limited residential-related uses and the site to the north is a country residential lot. The subject site fronts onto Ellerslie Road SW, a major arterial thoroughfare for the Ellerslie neighbourhood and surrounding areas. Across Ellerslie Road SW to the south is a commercial site and across 66 Street SW to the east is a school site.



*Aerial view of application area*

	EXISTING ZONING	CURRENT USE
<b>SUBJECT SITE</b>	(RR) Rural Residential Zone	Single Detached House
<b>CONTEXT</b>		
North	(RR) Rural Residential Zone	Single Detached House
East	(US) Urban Services Zone	Public Education Services (Ellerslie Campus)
South	(DC2.1136) Site Specific Development Control Provision	Multiple single story commercial buildings
West	(DC2.1211) Site Specific	Commercial site currently under

	Development Control Provision	development
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## Planning Analysis

The proposed rezoning provides for a greater diversity of land uses within the Ellerslie neighbourhood and at a scale of development that is compatible with adjacent sites. Although the removal of the site from the Country Residential Special Study Area allows for incremental development that would otherwise be guided under a more comprehensive plan for Wernerville, the proposed rezoning is suitable for this corner site and supports efficient development along the Ellerslie Road SW secondary corridor as directed under The City Plan.

## Land Use Compatibility

Development within the Ellerslie neighbourhood includes a mix of low and medium density residential uses, existing country residential (Wernerville) and commercial uses. Since 2019, four country residential sites within Wernerville have been rezoned to provide for future commercial, institutional and mixed uses. This application proposes to allow for commercial uses that will complement those sites and the commercial site located across Ellerslie Road SW to the south.

The CB2 Zone provides opportunities for commercial, office, and service uses, as well as potential for residential uses above the first storey. This zone is intended to be located along arterial roads with good visibility and accessibility which Ellerslie Road SW and 66 Street SW provides. Regulations within the CB2 Zone guide development to be sensitive to the surrounding area, which will mitigate impacts on the adjacent country residential lot including an increased setback of 6.0 meters from this property to accommodate landscaping and to ensure appropriate separation is maintained.

## RR, DC2 & CB2 Comparison Summary

	<b>RR</b> Current Zoning	<b>DC2.1211</b> Adjacent Zoning	<b>CB2</b> Proposed Zoning
<b>Principal Building</b>	Single Detached Housing	Commercial building(s) with opportunity for Multi-Unit Housing above-grade	Commercial building(s) with opportunity for Multi-Unit Housing above-grade

<b>Maximum Height</b>	10.0 m	16.0 m	16.0 m
<b>Minimum Front Setback</b>	7.5 m	3.0 m	4.5 m
<b>Minimum Interior Side Setback</b>	5.0 m	3.0 m	6.0 m <sup>1</sup>
<b>Minimum Flanking Side Setback</b>	5.0 m	3.0 m	4.5 m
<b>Minimum Rear Setback</b>	7.5 m	3.0 m	0 m
<b>Maximum Floor Area Ratio</b>	N/A	2.0	3.5

<sup>1</sup>The side setback is increased to 15.0 m for Rapid Drive-through Vehicle Services and Drive-in Food Services

## Plans in Effect

### *The City Plan*

The proposed development aligns with the goals of The City Plan to focus efficient development on a network of key nodes and corridors. Ellerslie Road SW is designated as a secondary corridor, a vibrant residential street with commercial clusters and local destinations for surrounding communities. The proposed commercial use is in alignment with the scale of a secondary corridor and will complement the cluster of commercial development across Ellerslie Road SW to the south. The opportunities for above-grade residential within the proposed CB2 Zone would also contribute to accommodating additional residents within the Ellerslie neighbourhood, which is identified as a growth area between the 1 and 1.25 million population markers.

### *Ellerslie ASP and NSP*

The Ellerslie ASP and NSP designate the subject site as part of the Wernerville Country Residential Special Study Area. The designation of the Special Study Area was intended to allow time for the landowners, or a consolidated ownership group, to organize and engage in a broader planning process to redevelop the area. Considering that a united land assembly or planning effort has not yet materialized, Administration has recently been supportive of allowing some properties in this area to redevelop incrementally, based on serviceability and provided that the scale of development and impacts to existing rural residential uses are contextually appropriate.

The proposed ASP and NSP amendments align with other goals and objectives of the Plans, including the efficient use of land and a greater diversity of land uses (at present, commercial uses comprise only about 3.5% of the gross developable area of the Ellerslie NSP). The diversification of land uses within the Plan area, as well as the incremental transition of country residential to urban development standards, support these objectives.

## **Technical Review**

### **Transportation**

Ellerslie Road SW is a future six lane divided arterial road and 66 Street SW is a future four lane divided arterial road. Land dedication will be required from this site for the future widening of both Ellerslie Road SW and 66 Street SW. Construction of a shared use path along the north side of Ellerslie Road SW and the west side of 66 Street SW adjacent to the site will be required upon redevelopment.

An easement through the properties to the west provides this site with all-directional access to Ellerslie Road SW via the 70 Street SW intersection. The traffic signals will be upgraded to accommodate the new north approach of the intersection. An additional right-in / right-out access along Ellerslie Road SW may be permitted at the development permit stage. Direct access to 66 Street SW is not permitted.

### **Transit**

The site is presently serviced by transit routing along 66 Street SW. Limited-stop, rapid bus service along 66 Street SW and Ellerslie Road SW is included in the Mass Transit Network for 1.25 million people. Implementation of this routing is subject to further planning and funding, and is not anticipated to occur in the near-term.

### **Drainage**

Drainage has no concerns. Permanent sanitary and stormwater servicing requires connection from the sewers along 66 Street SW, constructed as part of Ellerslie East Stage 1. Onsite stormwater storage is required within the property to accommodate the excess runoff from a 1 in 100 year design rainfall event with an outflow rate of 35 L/s/ha to the storm sewer system.

## **EPCOR Water**

Approximately 535 metres of offsite water mains are required to service this site. This includes 145 meters of offsite water mains on Ellerslie Road SW to the site from 66 Street NW, and approximately 390 metres of offsite water mains on 66 Street north from Ellerslie Road SW to a connection north of 6 Avenue SW.

All other comments from affected civic departments and utility agencies have been addressed.

## **Appendices**

- 1 Approved Ellerslie ASP Land Use and Population Statistics – Bylaw 20137
- 2 Proposed Ellerslie ASP Land Use and Population Statistics – Bylaw 20234
- 3 Approved Ellerslie NSP Land Use and Population Statistics – Bylaw 20138
- 4 Proposed Ellerslie NSP Land Use and Population Statistics – Bylaw 20235
- 5 Approved Ellerslie ASP Context Map – Bylaw 20137
- 6 Proposed Ellerslie ASP Context Map – Bylaw 20234
- 7 Approved Ellerslie NSP Context Map – Bylaw 20138
- 8 Proposed Ellerslie NSP Context Map – Bylaw 20235
- 9 Application Summary



## Approved Ellerslie ASP Land Use and Population Statistics

### ELLERSLIE AREA STRUCTURE PLAN LAND USE AND POPULATION STATISTICS BYLAW 20137

	Area (ha)	%
<b>GROSS AREA</b>	<b>1451.5</b>	<b>100.0%</b>
Natural Area (Environmental Reserve)	6.6	0.5%
Pipeline & Utility Right-of-Way	63.0	4.3%
Arterial Road Right-of-Way	67.2	4.6%
30 Avenue (Existing Gov't Right-of-Way)	2.0	0.1%
<b>GROSS DEVELOPABLE AREA*</b>	<b>1312.7</b>	<b>100%</b>
Existing Land Uses (Country Residential Development)	45.4	3.5%
Commercial / Residential Mixed Use **	0.4	0.0%
Commercial	83.1	6.3%
Parkland, Recreation, School		
School / Park (Municipal Reserve)	76.4	5.8%
Private Open Space / Resident Association	25.7	2.0%
Transition Area	3.2	0.2%
Institutional / Urban Service		
Fire Station	0.6	0.05%
Institutional and Community Service	3.6	0.3%
Transportation		
Circulation	193.2	14.7%
Industrial	287.2	21.9%
Industrial Education Facility	59.0	4.5%
Infrastructure and Servicing		
Public Utility Lots and Stormwater Management	63.4	4.8%
Total Non-Res Area	841.1	64.1%
Net Residential Area	471.6	35.9%

#### RESIDENTIAL LAND USE AREA, UNIT & POPULATION COUNT

Land Use	Area (ha)	Units/ha	Units	People/Unit	Population	% of NRA
Low Density Residential (LDR)	401.62	25	10041	2.8	28113	85%
Street Oriented Residential (SOR)	9.77	40	391	2.8	1094	2.1%
Row Housing	7.74	45	348	2.8	975	1.7%
Medium Density Residential (MDR)	52.8	90	4752	1.8	8554	11.3%
<b>Total Residential</b>	<b>471.62</b>		<b>15532</b>		<b>38736</b>	<b>100%</b>

#### SUSTAINABILITY MEASURES

Population Per Net Residential Hectare (ppnrha)	82
Units Per Net Residential Hectare (upnrha)	33
LDR/MDR Unit Ratio	64% / 36%

	Elementary (K-6)	Junior/Senior High School (7-12)	Total
<b>Student Generation</b>			
Public	1,586	1,586	3,172
Separate	635	317	952
Total	2,221	1,903	4,124



Notes:

\*Where the vision, goals and objectives of an ASP reflect the context of a particular area, some land uses may not be entirely necessary or desirable. Calculations for Neighbourhoods reflect a general framework for future development and are estimates. Detailed calculations will be prepared during the NSP approval stage. Applicants are advised to consult with the Planning and Development Department for up-to-date housing mix guidelines, unit and population factors, and School Boards specifically regarding school need and student generation factors. Residential land use is generally depicted on the Land Use Concept map.

\*\*The total area of this designation is 1.18 ha. The assumed split between residential and non-residential (retail and office) land uses is assumed 70:30 respectively. The residential portion of this designation is accounted for in Medium Density Residential Housing.

## Proposed Ellerslie ASP Land Use and Population Statistics

### ELLERSLIE AREA STRUCTURE PLAN LAND USE AND POPULATION STATISTICS BYLAW 20234

	Area (ha)	%
<b>GROSS AREA</b>	<b>1451.5</b>	<b>100.0%</b>
Natural Area (Environmental Reserve)	6.6	0.5%
Pipeline & Utility Right-of-Way	63.0	4.3%
Arterial Road Right-of-Way	67.2	4.6%
30 Avenue (Existing Gov't Right-of-Way)	2.0	0.1%
<b>GROSS DEVELOPABLE AREA*</b>	<b>1312.7</b>	<b>100%</b>
Existing Land Uses (Country Residential Development)	44.6	3.4%
Commercial / Residential Mixed Use **	0.4	0.0%
Commercial	83.9	6.4%
Parkland, Recreation, School		
School / Park (Municipal Reserve)	76.4	5.8%
Private Open Space / Resident Association	25.7	2.0%
Transition Area	3.2	0.2%
Institutional / Urban Service		
Fire Station	0.6	0.05%
Institutional and Community Service	3.6	0.3%
Transportation		
Circulation	193.2	14.7%
Industrial	287.2	21.9%
Industrial Education Facility	59.0	4.5%
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Public Utility Lots and Stormwater Management	63.4	4.8%
Total Non-Res Area	841.1	64.1%
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Row Housing	7.74	45	348	2.8	975	1.7%
Medium Density Residential (MDR)	52.8	90	4752	1.8	8554	11.3%
<b>Total Residential</b>	<b>471.62</b>		<b>15532</b>		<b>38736</b>	<b>100%</b>

### SUSTAINABILITY MEASURES

Population Per Net Residential Hectare (ppnrha)	82
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<b>Total</b>	<b>2,221</b>	<b>1,903</b>	<b>4,124</b>

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Notes:

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\*\*The total area of this designation is 1.18 ha. The assumed split between residential and non-residential (retail and office)

## Approved Ellerslie NSP Land Use and Population Statistics

### ELLERSLIE NEIGHBOURHOOD STRUCTURE PLAN LAND USE AND POPULATION STATISTICS BYLAW 20138

	Area (ha)	% of GDA
<b>Gross Area</b>	<b>158.18</b>	
Utility/Pipeline Corridors	1.87	
Arterial Roadways	7.69	
<b>Gross Developable Area</b>	<b>148.62</b>	<b>100.00%</b>
Existing Land Uses (Country Residential Development)	46.85	31.52%
Parks and Schools	6.65	4.47%
Circulation	18.65	12.55%
Public Utility - stormwater facility	4.10	2.76%
<b>Net Developable Area</b>	<b>72.37</b>	<b>48.69%</b>
Institutional	3.64	2.45%
Commercial/Residential Mixed Use *	0.35	0.24%
Commercial	4.80	3.23%
Residential	63.58	42.78%

	Area	Units	% of Total Units	Population
Low Density Residential (RF1, RSL, RPL, and RF4)	48.44	1,211	62%	4,190
Medium Density Residential (RF5, RA7)	15.14	756	38%	2,251
<b>Total</b>	<b>63.58</b>	<b>1,967</b>	<b>100%</b>	<b>6,441</b>

Density: 43.3 persons per net residential hectare  
30.9 units per net residential hectare

#### Notes:

\*The total area of this designation is 1.2 ha. The assumed split between residential and non-residential (retail and office) land uses is assumed 70:30 respectively. The residential portion of this designation is accounted for in Medium Density Residential.

#### Student Generation Statistics

Level	Public	Separate	Total
Grades K-8	834	278	1112
Grades 9-12	324	108	432
<b>Total</b>	<b>1158</b>	<b>386</b>	<b>1545</b>

## Proposed Ellerslie NSP Land Use and Population Statistics

### ELLERSLIE NEIGHBOURHOOD STRUCTURE PLAN LAND USE AND POPULATION STATISTICS BYLAW 20235

	Area (ha)	% of GDA
<b>Gross Area</b>	<b>158.18</b>	
Utility/Pipeline Corridors	1.87	
Arterial Roadways	7.69	
<b>Gross Developable Area</b>	<b>148.62</b>	<b>100.00%</b>
Existing Land Uses (Country Residential Development)	46.04	30.98%
Parks and Schools	6.65	4.47%
Circulation	18.65	12.55%
Public Utility - stormwater facility	4.10	2.76%
<b>Net Developable Area</b>	<b>73.18</b>	<b>49.24%</b>
Institutional	3.64	2.45%
Commercial/Residential Mixed Use *	0.35	0.24%
Commercial	5.61	3.77%
Residential	63.58	42.78%

	Area	Units	% of Total Units	Population
Low Density Residential (RF1, RSL, RPL, and RF4)	48.44	1,211	62%	4,190
Medium Density Residential (RF5, RA7)	15.14	756	38%	2,251
<b>Total</b>	<b>63.58</b>	<b>1,967</b>	<b>100%</b>	<b>6,441</b>

Density: 43.3 persons per gross developable area  
30.9 units per net residential hectare

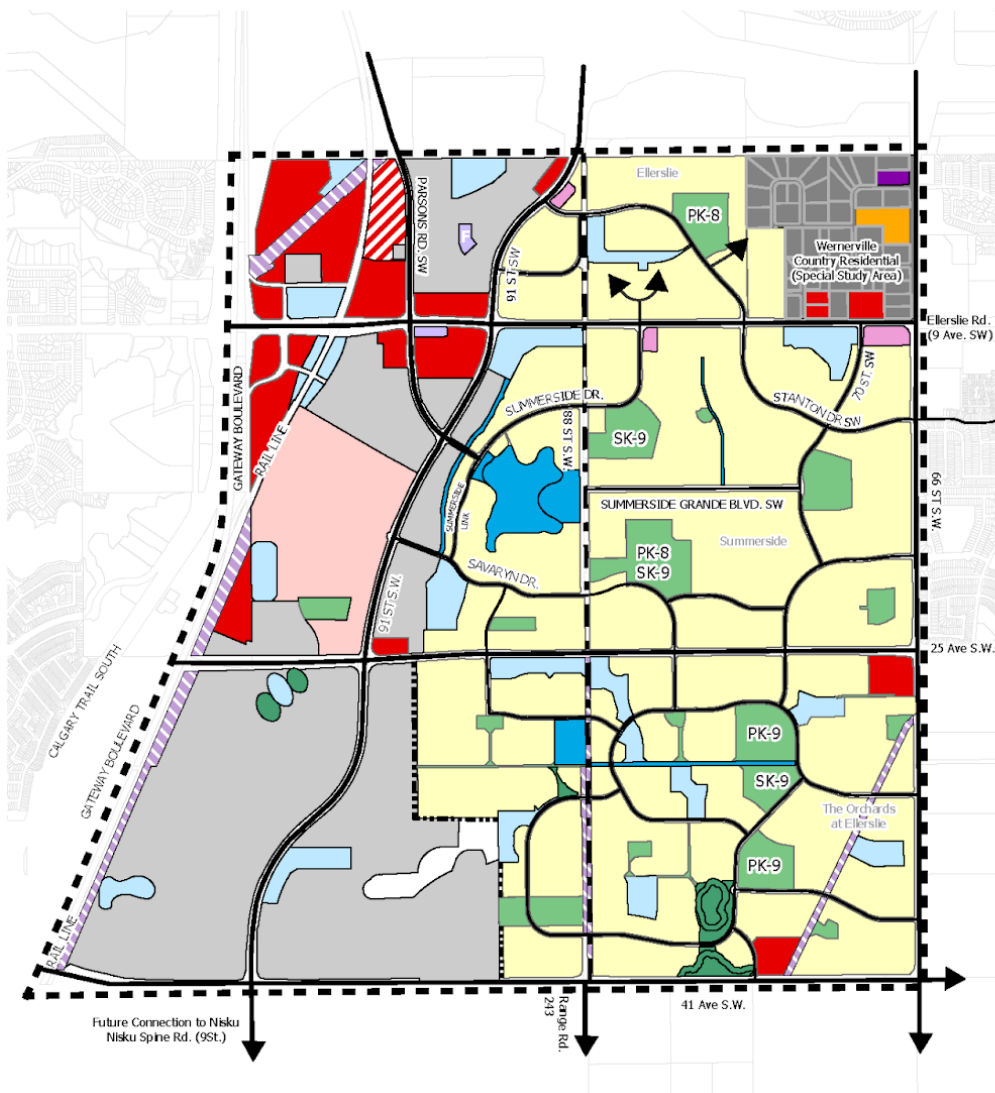
#### Notes:

\*The total area of this designation is 1.2 ha. The assumed split between residential and non-residential (retail and office) land uses is assumed 70:30 respectively. The residential portion of this designation is accounted for in Medium Density Residential.

#### Student Generation Statistics

Level	Public	Separate	Total
Grades K-8	834	278	1112
Grades 9-12	324	108	432
<b>Total</b>	<b>1158</b>	<b>386</b>	<b>1545</b>

## Approved Ellerslie ASP Context Map

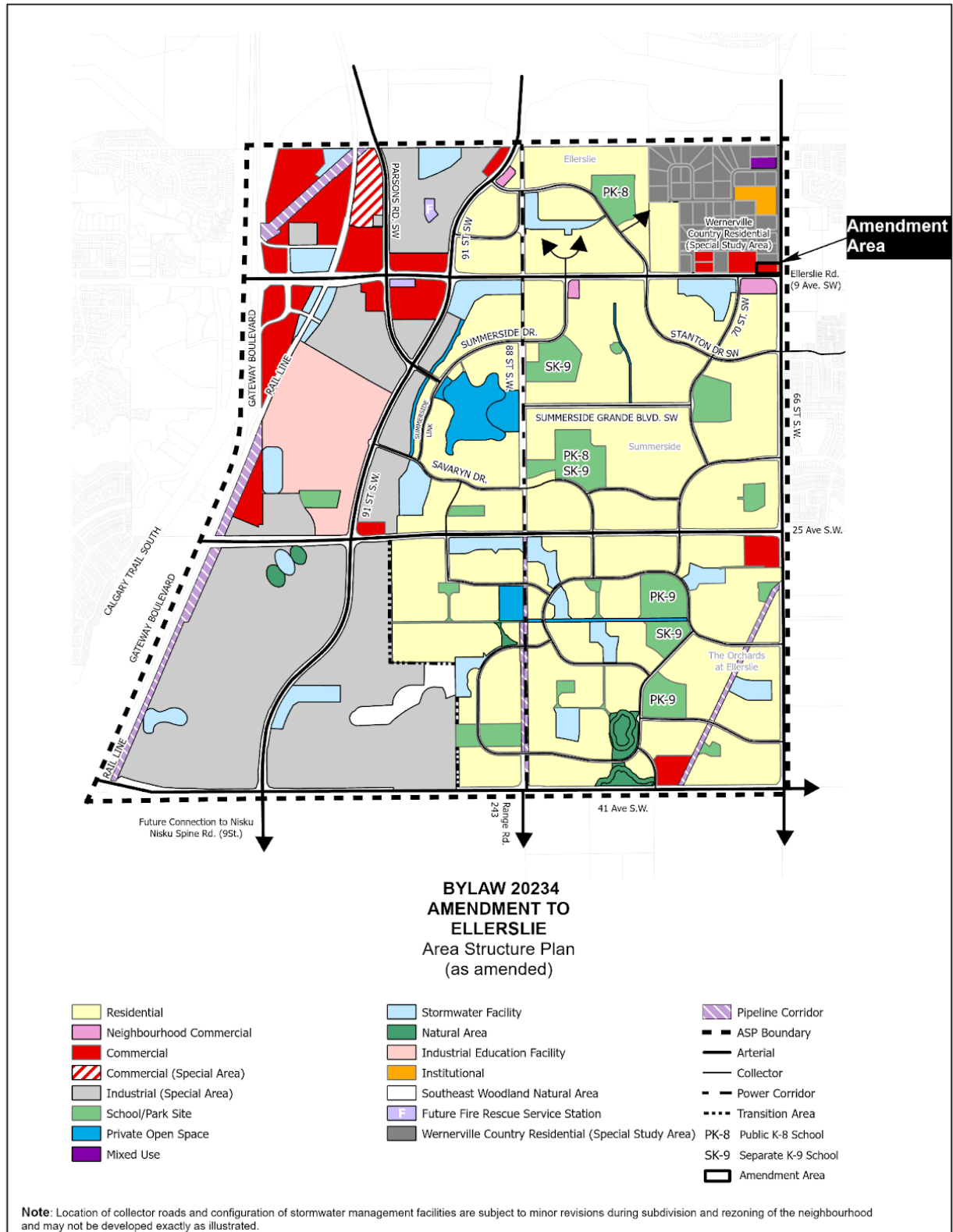


### BYLAW 20137 AMENDMENT TO ELLERSLIE Area Structure Plan (as amended)

Residential	Stormwater Facility	Pipeline Corridor
Neighbourhood Commercial	Natural Area	ASP Boundary
Commercial	Industrial Education Facility	Arterial
Commercial (Special Area)	Institutional	Collector
Industrial (Special Area)	Southeast Woodland Natural Area	Power Corridor
School/Park Site	Future Fire Rescue Service Station	Transition Area
Private Open Space	Wernerville Country Residential (Special Study Area)	PK-8 Public K-8 School
Mixed Use		SK-9 Separate K-9 School

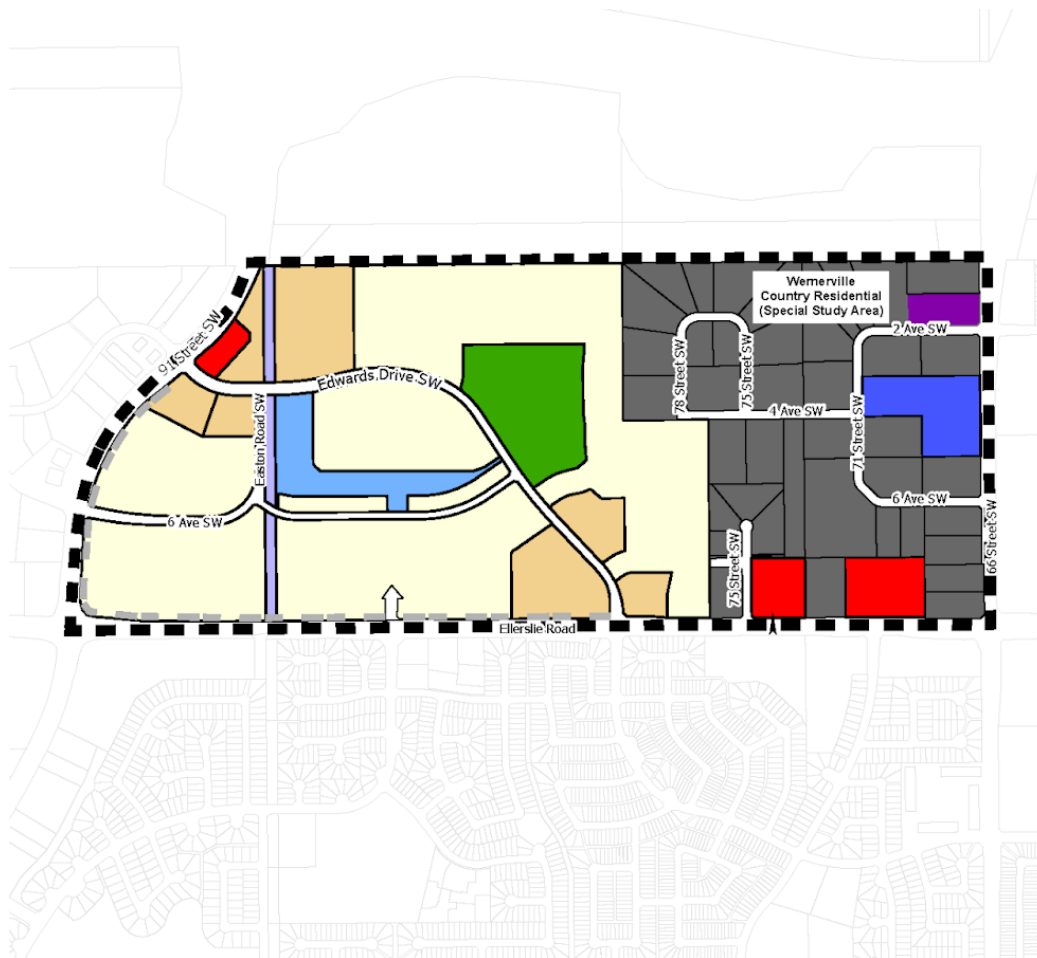
**Note:** Location of collector roads and configuration of stormwater management facilities are subject to minor revisions during subdivision and rezoning of the neighbourhood and may not be developed exactly as illustrated.

## Proposed Ellerslie ASP Context Map





## Approved Ellerslie NSP Context Map

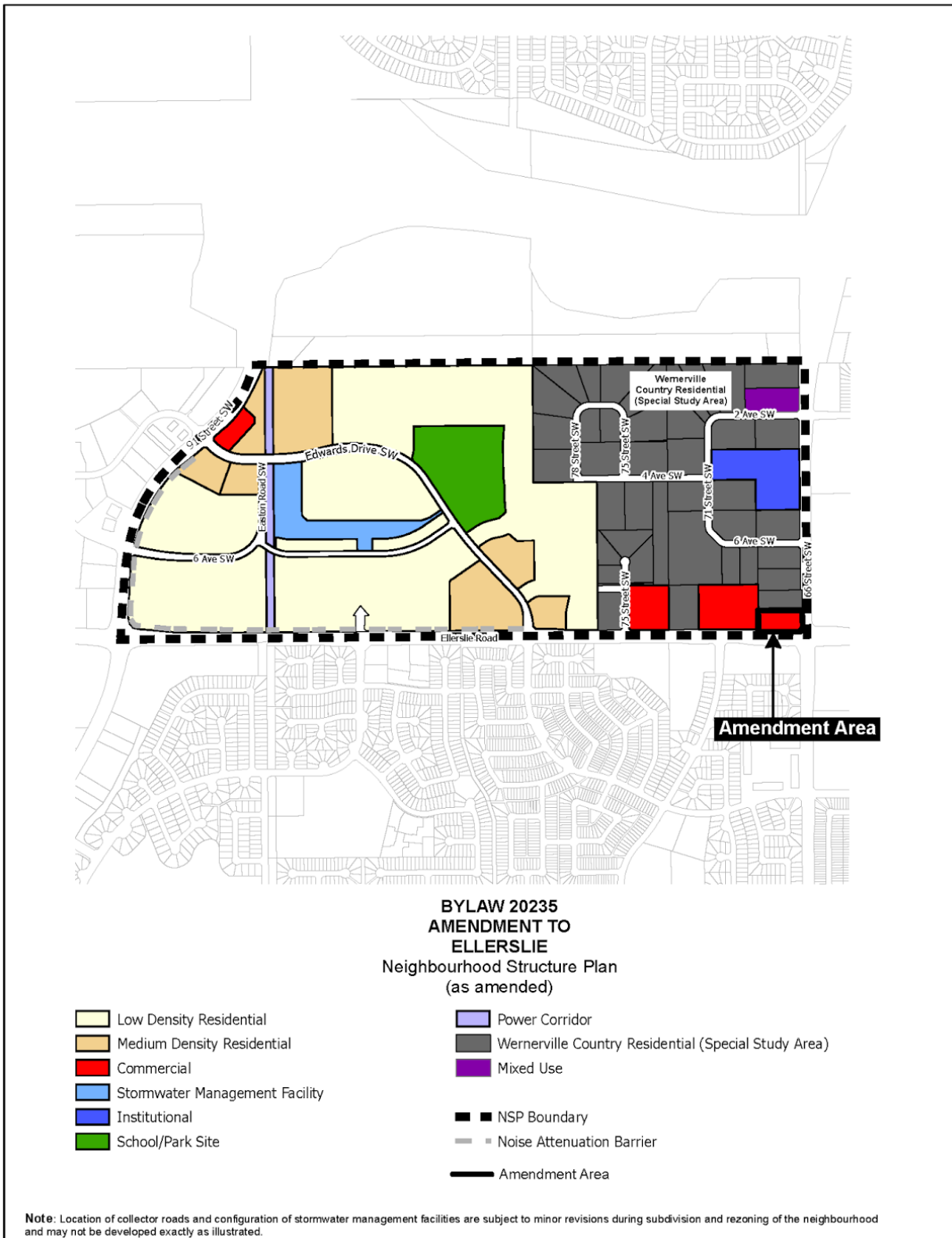


### BYLAW 20138 ELLERSLIE Neighbourhood Structure Plan (as amended)

Low Density Residential	Power Corridor
Medium Density Residential	Wernerville Country Residential (Special Study Area)
Commercial	Mixed Use
Stormwater Management Facility	NSP Boundary
Institutional	Noise Attenuation Barrier
School/Park Site	Amendment Area

**Note:** Location of collector roads and configuration of stormwater management facilities are subject to minor revisions during subdivision and rezoning of the neighbourhood and may not be developed exactly as illustrated.

## Proposed Ellerslie NSP Context Map



## Application Summary

### Information

<b>Application Type:</b>	ASP Amendment NSP Amendment Rezoning
<b>Bylaws:</b> <b>Charter Bylaw:</b>	20234 and 20235 20236
<b>Location:</b>	North of Ellerslie Road SW and west of 66 Street SW
<b>Address:</b>	6704 Ellerslie Road SW
<b>Legal Description:</b>	Lot A, Block 1, Plan 2497KS
<b>Site Area:</b>	0.8 ha
<b>Neighbourhood:</b>	Ellerslie
<b>Ward:</b>	Karhiio
<b>Notified Community Organizations:</b>	Ellerslie Community League Association Horizon Community League
<b>Applicant:</b>	SPA Engineering

### Planning Framework

<b>Current Zone:</b>	(RR) Rural Residential Zone
<b>Proposed Zone:</b>	(CB2) General Business Zone
<b>Plans in Effect:</b>	Ellerslie Area Structure Plan Ellerslie Neighbourhood Structure Plan
<b>Historic Status:</b>	None

Written By:	Andrea Wadsworth
Approved By:	Tim Ford
Branch:	Development Services
Section:	Planning Coordination