Bylaw 20539

A Bylaw to amend Bylaw 6221, as amended being
the Garneau Area Redevelopment Plan

WHEREAS pursuant to the authority granted to it, City Council, on May 25, 1982, passed Bylaw 6221, as amended, being the Garneau Area Redevelopment Plan; and

WHEREAS from time to time City Council may find it desirable to amend the Garneau Area Redevelopment Plan; and;

WHEREAS an application was made to amend the Garneau Area Redevelopment Plan; and

WHEREAS the Municipal Council of the City of Edmonton now deems it in the public interest to amend the Garneau Area Redevelopment Plan; and

NOW THEREFORE after due compliance with the relevant provisions of the Municipal Government Act RSA 2000, ch. M-26, as amended, the Municipal Council of the City of Edmonton duly assembled enacts as follows:

1. That Bylaw 6221, as amended, is hereby further amended by:

   a. deleting "Schedule C – General Land Uses" and replacing it with "Schedule C – General Land Uses", attached hereto as Schedule "A" and forming part of this bylaw;

   b. deleting "Schedule I – Detailed Land Use Sub Area 1" and replacing it with "Schedule I – Detailed Land Use Sub Area 1", attached hereto as Schedule "B" and forming part of this bylaw; and

c. deleting "Schedule Q - Proposed Zoning" and replacing it with "Schedule Q - Proposed Zoning", attached hereto as Schedule "C" and forming part of this bylaw.

READ a first time this	10th day of July	, A. D. 2023;
READ a second time this	10th day of July	, A. D. 2023;
READ a third time this	10th day of July	, A. D. 2023;
SIGNED and PASSED this	10th day of July	, A. D. 2023.

THE CITY OF EDMONTON

A Sohi

MAYOR

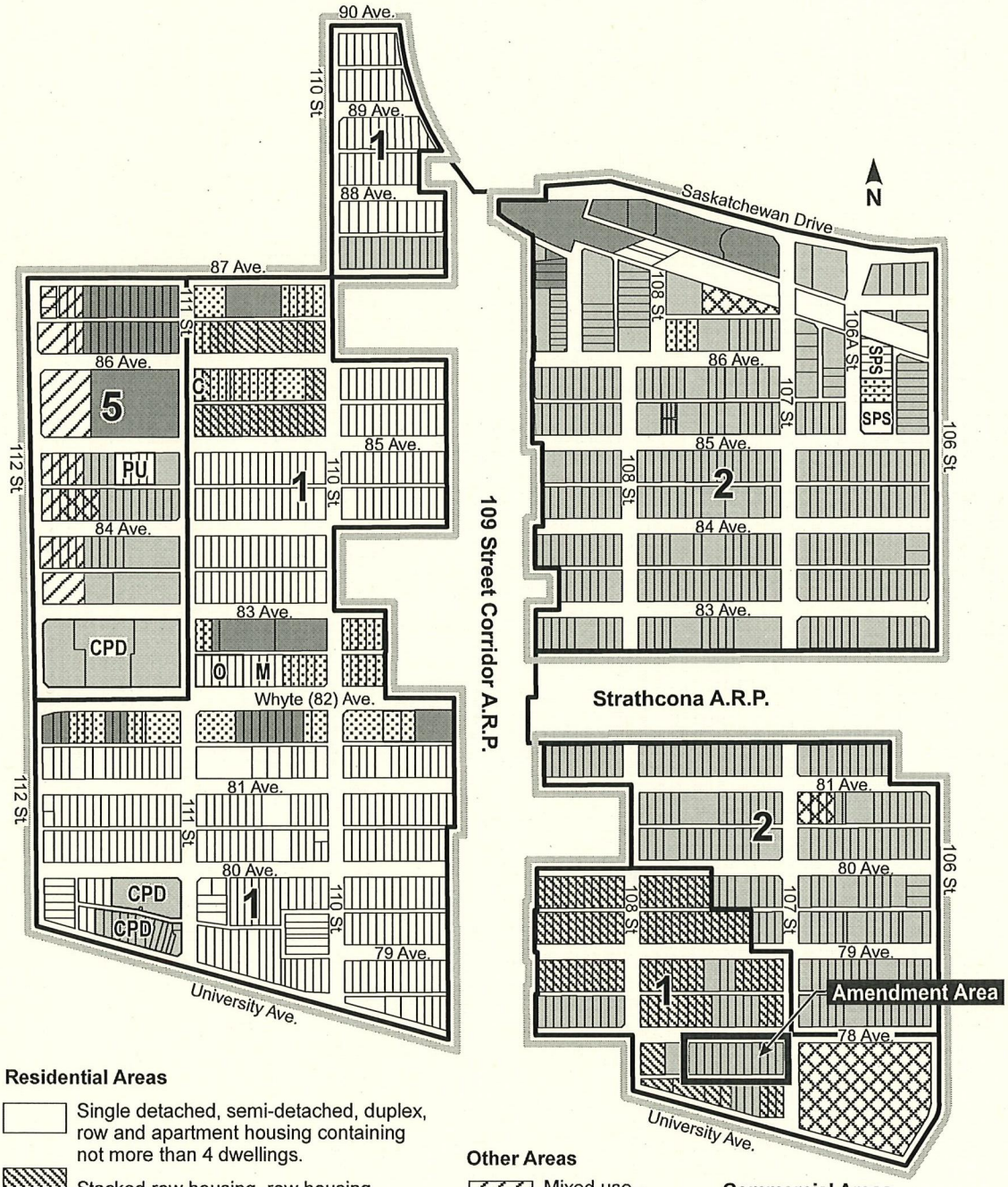
Christopher Martin

AI CITY CLERK

Garneau

SCHEDULE C
General Land Uses

Area Redevelopment Plan



Residential Areas

- Single detached, semi-detached, duplex, row and apartment housing containing not more than 4 dwellings.
- Stacked row housing, row housing
- Walk up and stacked row housing
- Medium rise apartments
- High rise apartments
- CPD — Comprehensively planned development

Other Areas

- Mixed use - mainly residential
- Parks/Schools and Institutional
- PU — Public Utility
- SPS — Special Public Service

Commercial Areas

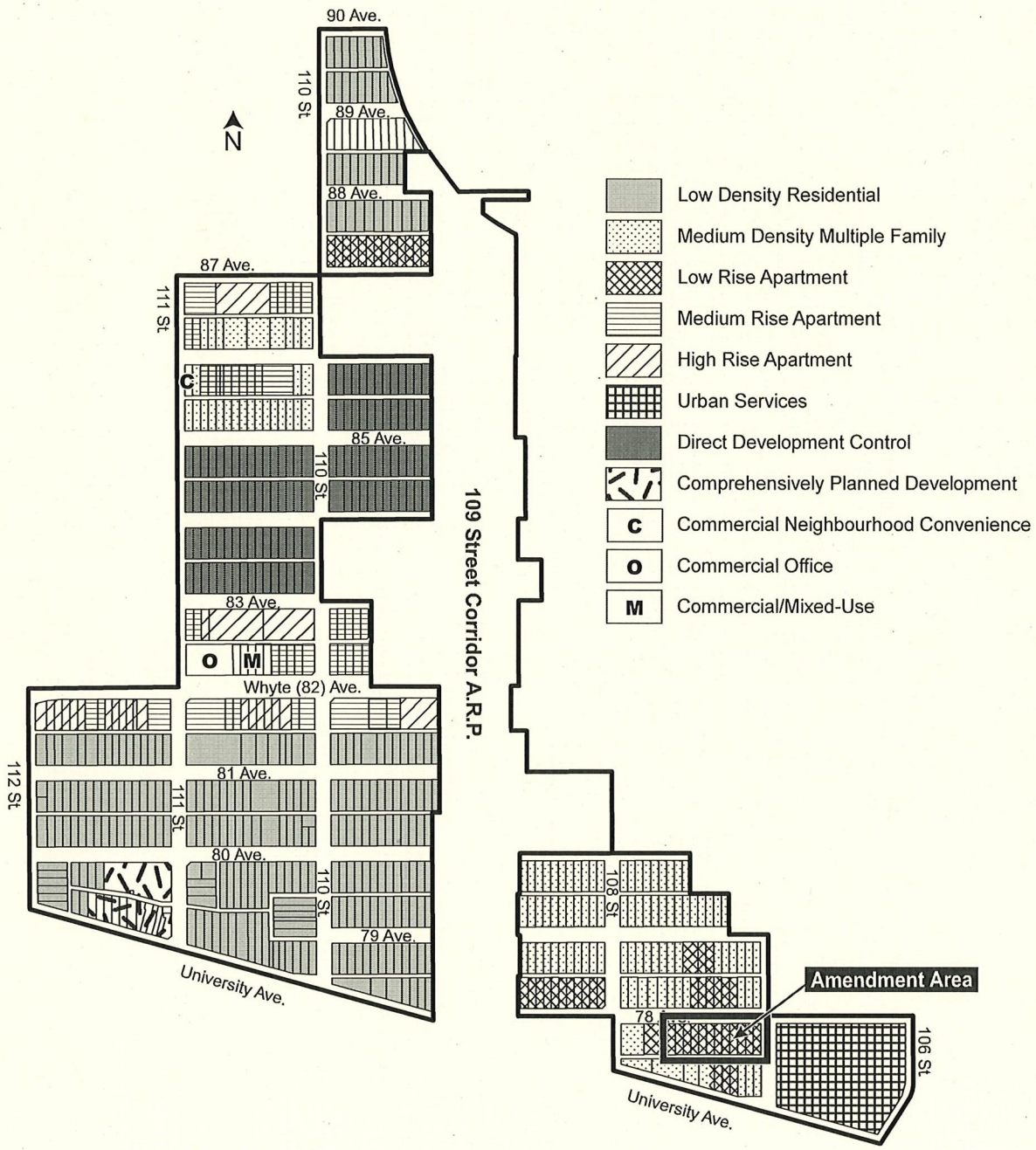
- C — Commercial Neighbourhood Convenience
- O — Commercial Office
- M — Commercial/Mixed-Use

SCHEDULE "B"

Garneau

Area Redevelopment Plan

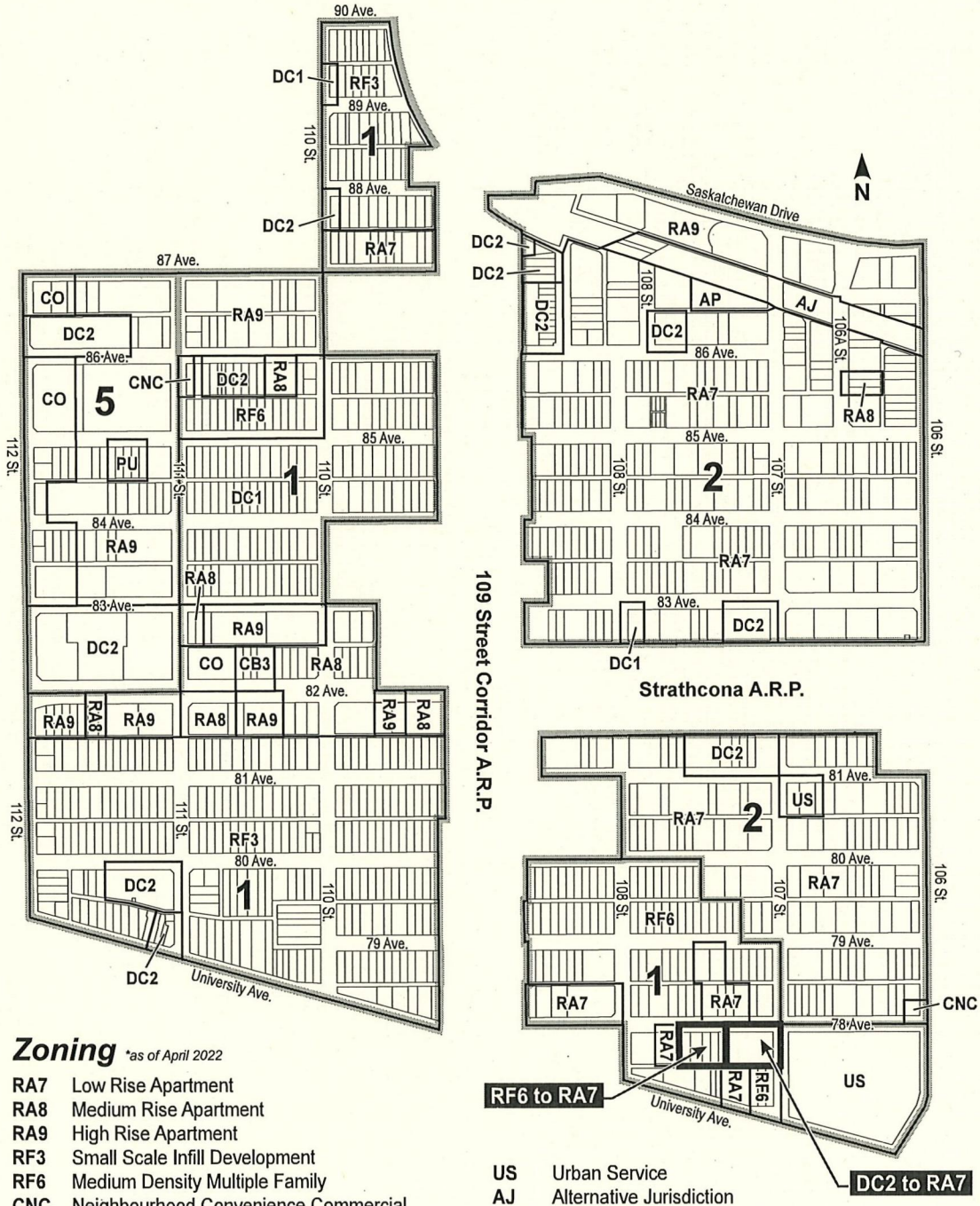
SCHEDULE I
Detailed Land Use Sub Area 1



Garneau

SCHEDULE Q
Proposed Zoning

Area Redevelopment Plan



Zoning *as of April 2022

RA7	Low Rise Apartment
RA8	Medium Rise Apartment
RA9	High Rise Apartment
RF3	Small Scale Infill Development
RF6	Medium Density Multiple Family
CNC	Neighbourhood Convenience Commercial
CO	Commercial Office
CB3	Commercial Mixed Business
DC1	Direct Development Control Provisions
DC2	Site Specific Development Control Provisions
US	Urban Service
AJ	Alternative Jurisdiction
AP	Public Parks
PU	Public Utlity

Note: Map does not reflect Overlays