

Bylaw 17829

A Bylaw to amend Bylaw 12800, as amended,
The Edmonton Zoning Bylaw
Amendment No. 2301

WHEREAS the lands shown on Schedule “A” and legally described on Schedule “B”, bounded by 92 Street NW, 97 Street NW, 101 Avenue NW, and 103 A Avenue NW, Boyle Street, Edmonton, Alberta, are specified on the Zoning Map as (DC1) Direct Development Control Provision; and

WHEREAS an application was made to rezone the above described property to (DC1) Direct Development Control Provision;

NOW THEREFORE after due compliance with the relevant provisions of the Municipal Government Act RSA 2000, ch. M-26, as amended, the Municipal Council of the City of Edmonton duly assembled enacts as follows:

1. The Zoning Map, being Part III to Bylaw 12800 The Edmonton Zoning Bylaw is hereby amended by rezoning the lands shown on Schedule “A” and legally described on Schedule “B”; bounded by 92 Street NW, 97 Street NW, 101 Avenue NW, and 103 A Avenue NW, Boyle Street, Edmonton, Alberta, which lands are shown on the sketch plan annexed hereto as Schedule “A”, from (DC1) Direct Development Control Provision to (DC1) Direct Development Control Provision.
 2. The uses and regulations of the aforementioned DC1 Provisions are attached as Schedules "C, D E, F, G and H."
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3. The sketch plan attached as Schedule "A" and the uses and regulations of the DC1 Provisions shown on Schedules "C, D, E, F, G and H " attached are hereby incorporated into the Zoning Bylaw, being Part IV to Bylaw 12800, The Edmonton Zoning Bylaw.

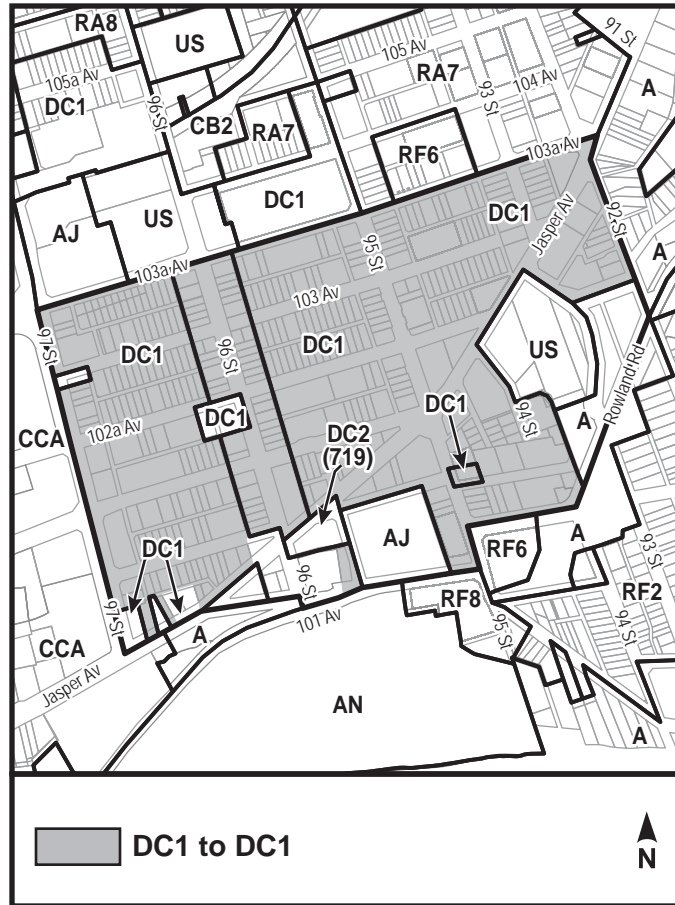
READ a first time this	day of	, A. D. 2016;
READ a second time this	day of	, A. D. 2016;
READ a third time this	day of	, A. D. 2016;
SIGNED and PASSED this	day of	, A. D. 2016.

THE CITY OF EDMONTON

MAYOR

CITY CLERK

BYLAW 17829



LEGAL DESCRIPTIONS	ADDRESS	TO
Plan ND Block 1 Lot 1	10102 - 95 Street NW	DC1
Plan 0421589, Units 1-79	10118 - 95 Street NW	DC1
Plan RN49 Lot 1	10123 - 95 Street NW	DC1
Plan RN49 Lot 2	10127 - 95 Street NW	DC1
Plan ND Block 1 Lot 8	10128 - 95 Street NW	DC1
Plan RN49 Lot 3	10129 - 95 Street NW	DC1
Plan RN49 Lot 4	10131 - 95 Street NW	DC1
Plan ND Block 2 Lots 27-28	10131 - 97 Street NW	DC1
Plan ND Block 1 Lot 9	10132 - 95 Street NW	DC1
Plan ND Block 3 Lots 1-2	10134 - 96 Street NW	DC1
Plan ND Block 1 Lots 10-11	10136 - 95 Street NW	DC1
Plan 0225190 Units 1-14	10141 - 95 Street NW	DC1
Plan ND Block 3 Lot 3	10146 - 96 Street NW	DC1
Plan 8923158 Block 4 Lot 49	10148 - 95 Street NW	DC1
Plan ND Block 3 Lots 4-6	10152 - 96 Street NW	DC1
Plan RN82 Block 1 Lot 8	10153 - 94A Street NW	DC1
Plan 0921522 Block 3 Lot 25A	10153 - 97 Street NW	DC1
Plan RN82 Block 2 Lot 5	10155 - 94 Street NW	DC1
Plan RN35 Lot 9	10155 - 95 Street NW	DC1
Plan 6109ET Lot D	10156 - 94A Street NW	DC1
Plan 9221542 Block 2 Lot 6A	10157 - 94 Street NW	DC1
Plan RN82 Block 1 Lot 7	10157 - 94A Street NW	DC1
Plan RN82 Block 1 Lot 8	10158 - 94 Street NW	DC1
Plan 7922137 Block 2 Lot 6	10159 - 94 Street NW	DC1
Plan RN82 Block 1 Lots 6-7	10159 - 94A Street NW	DC1
Plan RN82 Block 1 Lot 7	10160 - 94 Street NW	DC1
Plan 6109ET Lot C	10160 - 94A Street NW	DC1
Plan RN82 Block 1 Lot 6	10163 - 94A Street NW	DC1
Plan 6109ET Lot B	10164 - 94A Street NW	DC1
Plan ND Block 3 Lots 7-8	10164 - 96 Street NW	DC1
Plan RN82 Block 1 Lot 6	10166 - 94 Street NW	DC1
Plan 6109ET Lot A	10166 - 94A Street NW	DC1
Plan 8520193 Block 1 Lot 5PUL	10170 - 94 Street NW	DC1
Plan 5281X Block 2 Lot OT	10175U - 94 Street NW	DC1
Plan 5281X Block 2 Lot OT	10179U - 94 Street NW	DC1
Plan ND Block 6 Lots 28-31	10203 - 97 Street NW	DC1
Plan ND Block 6 Lot 1	10204 - 96 Street NW	DC1
Plan ND Block 5 Lot 29	10211 - 96 Street NW	DC1
Plan ND Block 6 Lots 1-4	10212 - 96 Street NW	DC1
Plan ND Block 5 Lot 4	10216 - 95 Street NW	DC1
Plan ND Block 5 Lots 27-28	10217 - 96 Street NW	DC1
Plan ND Block 6 Lots 24-27	10217 - 97 Street NW	DC1
Plan ND Block 5 Lots 26-27	10219 - 96 Street NW	DC1
Plan 1221938 Block 1 Lot 2	10225 - 95 Street NW	DC1
Plan RN23 Block 1 Lot 1	10225 - 95 Street NW	DC1

LEGAL DESCRIPTIONS	ADDRESS	TO
Plan ND Block 5 Lots 25-26	10229 - 96 Street NW	DC1
Plan ND Block 5 Lots 5-8	10230 - 95 Street NW	DC1
Plan RN23 Block 2 Lot 21	10235 - 95 Street NW	DC1
Plan ND Block 5 Lot 24	10235 - 96 Street NW	DC1
Plan ND Block 8 Lot 31	10237 - 96 Street NW	DC1
Plan ND Block 7 Lot 2	10240 - 96 Street NW	DC1
Plan ND Block 8 Lot 30	10241 - 96 Street NW	DC1
Plan 0225190 Units 1-14	10245 - 95 Street NW	DC1
Plan ND Block 8 Lot 29	10245 - 96 Street NW	DC1
Plan 0829118 Block 1 Lot 14	10245 - Alex Taylor Road NW	DC1
Plan ND Block 7 Lots 3-4	10246 - 96 Street NW	DC1
Plan 1008CL Block 7 Lot 31	10247 - 97 Street NW	DC1
Plan ND Block 8 Lot 28	10249 - 96 Street NW	DC1
Plan 1008CL Block 7 Lot 30	10249 - 97 Street NW	DC1
Plan 9221325 Block 1 Lot J1	10250 - 92 Street NW	DC1
Plan ND Block 8 Lot 4	10250 - 95 Street NW	DC1
Plan 5128S Lots E,F,G	10252 - 92 Street NW	DC1
Plan ND Block 8 Lot 27	10255 - 96 Street NW	DC1
Plan 1008CL Block 7 Lots 28-29	10255 - 97 Street NW	DC1
Plan 3337AM Lot 13	10256 - 92 Street NW	DC1
Plan ND Block 8 Lot 5	10256 - 95 Street NW	DC1
Plan ND Block 7 Lot 5	10256 - 96 Street NW	DC1
Plan RN23 Block 2 Lot 16	10257 - 95 Street NW	DC1
Plan 2312Q Block 1 Lot B	10258 - 92 Street NW	DC1
Plan ND Block 8 Lot 6	10260 - 95 Street NW	DC1
Plan ND Block 7 Lot 6	10260 - 96 Street NW	DC1
Plan ND Block 8 Lot 26	10261 - 96 Street NW	DC1
Plan ND Block 7 Lot 27	10263 - 97 Street NW	DC1
Plan 2312Q Block 1 Lot C	10264 - 92 Street NW	DC1
Plan ND Block 8 Lot 7	10264 - 95 Street NW	DC1
Plan 2312Q Block 1 Lot A	10264A - 92 Street NW	DC1
Plan RN23 Block 2 Lots 14-15	10265 - 95 Street NW	DC1
Plan 2312Q Block 1 Lot D	10266 - 92 Street NW	DC1
Plan ND Block 7 Lots 7-8	10266 - 96 Street NW	DC1
Plan ND Block 8 Lot 8	10268 - 95 Street NW	DC1
Plan ND Block 7 Lots 26-27	10269 - 97 Street NW	DC1
Plan ND Block 8 Lots 24-25	10273 - 96 Street NW	DC1
Plan ND Block 7 Lot 25	10273 - 97 Street NW	DC1
Plan 1621735 Block A	10283 - 96 Street NW	DC1
Plan ND Block 9 Lots 29-30	10303 - 96 Street NW	DC1
Plan RN23 Block 3 Lots 27-28	10305 - 95 Street NW	DC1
Plan ND Block 10 Lots A, 33-36	10305 - 97 Street NW	DC1
Plan ND Block 9 Lots 1-2	10306 - 95 Street NW	DC1
Plan ND Block 10 Lot 2	10308 - 96 Street NW	DC1
Plan RN23 Block 3 Lots 1-8	10310 - 93 Street NW	DC1

LEGAL DESCRIPTIONS	ADDRESS	TO
Plan RN23 Block OT	10310 - 93 Street NW	DC1
Plan RN23 Block 4 Lot 10	10311 - 93 Street NW	DC1
Plan ND Block 9 Lot 28	10311 - 96 Street NW	DC1
Plan ND Block 9 Lot 3	10312 - 95 Street NW	DC1
Plan ND Block 10 Lot 3	10312 - 96 Street NW	DC1
Plan RN23 Block 3 Lot 26	10313 - 95 Street NW	DC1
Plan RN23 Block 4 Lot 9	10315 - 93 Street NW	DC1
Plan RN23 Block 3 Lot 25	10315 - 95 Street NW	DC1
Plan ND Block 9 Lot 27	10315 - 96 Street NW	DC1
Plan ND Block 10 Lot 4	10316 - 96 Street NW	DC1
Plan ND Block 9 Lot 4	10318 - 95 Street NW	DC1
Plan ND Block 10 Lots 5-6	10318 - 96 Street NW	DC1
Plan ND Block 10 Lot 5	10318A - 96 Street NW	DC1
Plan RN23 Block 4 Lot 8	10319 - 93 Street NW	DC1
Plan RN23 Block 3 Lot 24	10319 - 95 Street NW	DC1
Plan ND Block 10 Lots 25-26	10319 - 97 Street NW	DC1
Plan ND Block 9 Lot 26	10319U - 96 Street NW	DC1
Plan ND Block 9 Lot 5	10320 - 95 Street NW	DC1
Plan ND Block 9 Lot 26	10321 - 96 Street NW	DC1
Plan RN23 Block 4 Lot 7	10323 - 93 Street NW	DC1
Plan RN23 Block 3 Lot 23	10325 - 95 Street NW	DC1
Plan ND Block 9 Lot 25	10325 - 96 Street NW	DC1
Plan ND Block 10 Lot 25	10325 - 97 Street NW	DC1
Plan RN23 Block 4 Lot 6	10327 - 93 Street NW	DC1
Plan ND Block 10 Lots 23-24	10327 - 97 Street NW	DC1
Plan RN23 Block 3 Lot 22	10329 - 95 Street NW	DC1
Plan ND Block 9 Lots 23-24	10329 - 96 Street NW	DC1
Plan ND Block 9 Lots 6-8	10330 - 95 Street NW	DC1
Plan RN23 Block 4 Lot 5	10331 - 93 Street NW	DC1
Plan ND Block 10 Lots 7-8	10334 - 96 Street NW	DC1
Plan RN23 Block 3 Lot 21	10335 - 95 Street NW	DC1
Plan RN23 Block 2 Lot 2	9135 - 103 Avenue NW	DC1
Plan 2228RS Block 1 Lot 11A	9203 - Jasper Avenue NW	DC1
Plan RN23 Block 4 Lots 1-4	9208 - Jasper Avenue NW	DC1
Plan 5557KS Block 1 Lots 7-8	9209 - Jasper Avenue NW	DC1
Plan RN23 Block 4 Lot 11	9244 - Jasper Avenue NW	DC1
Plan 2830MC Block 1 Lot 1	9245 - Jasper Avenue NW	DC1
Plan RN23 Block 3 Lot 9	9315 - 103A Avenue NW	DC1
Plan RN23 Block 3 Lot 40	9316 - 103 Avenue NW	DC1
Plan RN23 Block 3 Lots 39-40	9318 - 103 Avenue NW	DC1
Plan RN23 Block 2 Lot 3	9319 - 103 Avenue NW	DC1
Plan RN23 Block 3 Lot 10	9319 - 103A Avenue NW	DC1
Plan RN23 Block 3 Lots 38-39	9320 - 103 Avenue NW	DC1
Plan 0626443 Unit 1	9320 - Jasper Avenue NW	DC1
Plan 0626443 Unit 2	9322 - Jasper Avenue NW	DC1

LEGAL DESCRIPTIONS	ADDRESS	TO
Plan 0626443 Unit 3	9328 – Jasper Avenue NW	DC1
Plan 0626443 Unit 4	9332 – Jasper Avenue NW	DC1
Plan 0626443 Unit 5	9340 – Jasper Avenue NW	DC1
Plan 0626443 Unit 6	9344 – Jasper Avenue NW	DC1
Plan 0626443 Units 7-18	9336 – Jasper Avenue NW	DC1
Plan RN74 Lots 9-10	9321 - 101A Avenue NW	DC1
Plan RN23 Block 2 Lot 4	9321 - 103 Avenue NW	DC1
Plan RN23 Block 3 Lots 11-13	9321 - 103A Avenue NW	DC1
Plan RN23 Block 3 Lots 37-38	9322 - 103 Avenue NW	DC1
Plan RN49 Lots 13-14	9323 - 101A Avenue NW	DC1
Plan RN74 Lots 3-8,10-16	9323 - 101A Avenue NW	DC1
Plan RN23 Block 2 Lot 5	9323 - 103 Avenue NW	DC1
Plan RN23 Block 3 Lot 37	9326 - 103 Avenue NW	DC1
Plan RN23 Block 2 Lot 6	9327 - 103 Avenue NW	DC1
Plan 585CL Block 3 Lot J	9328 - 103 Avenue NW	DC1
Plan RN23 Block 2 Lot 7	9331 - 103 Avenue NW	DC1
Plan RN23 Block 2 Lot 8	9335 - 103 Avenue NW	DC1
Plan RN23 Block 3 Lot 15	9335 - 103A Avenue NW	DC1
Plan RN23 Block 2 Lot 9	9337 - 103 Avenue NW	DC1
Plan RN23 Block 3 Lots 16-17	9339 - 103A Avenue NW	DC1
Plan RN23 Block 2 Lot 10	9341 - 103 Avenue NW	DC1
Plan 9925360 Lot 1A	9342 - 101A Avenue NW	DC1
Plan RN23 Block 2 Lot 11	9345 - 103 Avenue NW	DC1
Plan RN23 Block 3 Lot 18	9345 - 103A Avenue NW	DC1
Plan RN23 Block 2 Lot 12	9347 - 103 Avenue NW	DC1
Plan RN23 Block 3 Lot 19	9349 - 103A Avenue NW	DC1
Plan RN23 Block 2 Lot 13	9351 - 103 Avenue NW	DC1
Plan RN23 Block 3 Lot 20	9351 - 103A Avenue NW	DC1
Plan RN23 Block 2 Lots 14-15	9355 - 103 Avenue NW	DC1
Plan RN49 Lots 9-11	9356 - 101A Avenue NW	DC1
Plan 2356EO Lot A	9402 - Rowland Road NW	DC1
Plan RN23 Block 2 Lot 27	9404 - 102A Avenue NW	DC1
Plan RN23 Block 2 Lot 26	9408 - 102A Avenue NW	DC1
Plan 8520193 Block 1 Lot 4A	9411 - Jasper Avenue NW	DC1
Plan RN23 Block 2 Lot 25	9416 - 102A Avenue NW	DC1
Plan RN23 Block 2 Lot 24	9420 - 102A Avenue NW	DC1
Plan RN23 Block 2 Lot 23	9424 - 102A Avenue NW	DC1
Plan RN23 Block 2 Lot 22	9428 - 102A Avenue NW	DC1
Plan RN49 Lot 15	9431 - 101A Avenue NW	DC1
Plan RN49 Lot 16	9435 - 101A Avenue NW	DC1
Plan 8520193 Lot 10	9441 - Jasper Avenue NW	DC1
Plan ND Block 5 Lots 1-3	9502 - 102 Avenue NW	DC1
Plan ND Block 8 Lots 1-3	9504 - 102A Avenue NW	DC1
Plan ND Block 5 Lot 9	9513 - 102A Avenue NW	DC1
Plan ND Block 8 Lot 9	9513 - 103 Avenue NW	DC1

LEGAL DESCRIPTIONS	ADDRESS	TO
Plan ND Block 8 Lot 46	9514 - 102A Avenue NW	DC1
Plan ND Block 9 Lot 10	9515 - 103A Avenue NW	DC1
Plan ND Block 9 Lot 9	9515 - 103A Avenue NW	DC1
Plan ND Block 5 Lots 45-47	9516 - 102 Avenue NW	DC1
Plan 226CL Block 4 Lots 9A,10A,11A	9516 - Jasper Avenue NW	DC1
Plan ND Block 5 Lots 9-10	9517 - 102A Avenue NW	DC1
Plan ND Block 8 Lot 10	9517 - 103 Avenue NW	DC1
Plan ND Block 8 Lot 45	9518 - 102A Avenue NW	DC1
Plan ND Block 8 Lot 11	9519 - 103 Avenue NW	DC1
Plan ND Block 9 Lots 42-45	9520 - 103 Avenue NW	DC1
Plan 1524883 Block 9 Lot 18A	9521 - 103A Avenue NW	DC1
Plan ND Block 8 Lot 44	9522 - 102A Avenue NW	DC1
Plan ND Block 8 Lot 12	9523 - 103 Avenue NW	DC1
Plan 226CL Block 4 Lot 46A	9523 - Jasper Avenue NW	DC1
Plan ND Block 5 Lot 44	9524 - 102 Avenue NW	DC1
Plan ND Block 8 Lot 43	9524 - 102A Avenue NW	DC1
Plan 226CL Block 4 Lots 12A,13A	9524 - Jasper Avenue NW	DC1
Plan 9623683 Block 5 Lot 11A	9525 - 102A Avenue NW	DC1
Plan ND Block 9 Lots 40-41	9526 - 103 Avenue NW	DC1
Plan ND Block 8 Lot 13	9527 - 103 Avenue NW	DC1
Plan ND Block 8 Lot 42	9528 - 102A Avenue NW	DC1
Plan ND Block 8 Lot 14	9529 - 103 Avenue NW	DC1
Plan ND Block 5 Lot 41-43	9530 - 102 Avenue NW	DC1
Plan ND Block 8 Lot 41	9530 - 102A Avenue NW	DC1
Plan 226CL Block 4 Lots 14A,16A	9530 - Jasper Avenue NW	DC1
Plan 226CL Block 4 Lots 43A,44A,45A	9531 - Jasper Avenue NW	DC1
Plan ND Block 8 Lot 15	9533 - 103 Avenue NW	DC1
Plan ND Block 8 Lot 40	9534 - 102A Avenue NW	DC1
Plan ND Block 8 Lot 39	9536 - 102A Avenue NW	DC1
Plan ND Block 9 Lots 38-39	9536 - 103 Avenue NW	DC1
Plan ND Block 8 Lot 16	9537 - 103 Avenue NW	DC1
Plan 0227867 Block 5 Lot 16A	9539 - 102A Avenue NW	DC1
Plan ND Block 8 Lot 17	9539 - 103 Avenue NW	DC1
Plan 226CL Block 4 Lots 38A-42A	9539 - Jasper Avenue NW	DC1
Plan ND Block 5 Lots 38-40	9540 - 102 Avenue NW	DC1
Plan ND Block 9 Lot 37	9540 - 103 Avenue NW	DC1
Plan ND Block 8 Lot 38	9542 - 102A Avenue NW	DC1
Plan 226CL Block 4 Lots 17A,18A	9542 - Jasper Avenue NW	DC1
Plan ND Block 8 Lots 18-19	9543 - 103 Avenue NW	DC1
Plan ND Block 8 Lot 37	9544 - 102A Avenue NW	DC1
Plan ND Block 9 Lot 36	9544 - 103 Avenue NW	DC1
Plan ND Block 4 Lot 21	9545 - 102 Avenue NW	DC1
Plan ND Block 9 Lot 35	9546 - 103 Avenue NW	DC1
Plan ND Block 9 Lot 19	9547 - 103A Avenue NW	DC1

LEGAL DESCRIPTIONS	ADDRESS	TO
Plan ND Block 8 Lot 36	9548 - 102A Avenue NW	DC1
Plan ND Block 4 Lot 22	9549 - 102 Avenue NW	DC1
Plan ND Block 8 Lot 20	9549 - 103 Avenue NW	DC1
Plan ND Block 5 Lots 32-37	9550 - 102 Avenue NW	DC1
Plan ND Block 8 Lot 35	9550 - 102A Avenue NW	DC1
Plan ND Block 9 Lot 34	9550 - 103 Avenue NW	DC1
Plan ND Block 9 Lots 20-21	9551 - 103A Avenue NW	DC1
Plan ND Block 8 Lot 21	9553 - 103 Avenue NW	DC1
Plan ND Block 8 Lot 34	9554 - 102A Avenue NW	DC1
Plan ND Block 9 Lot 33	9554 - 103 Avenue NW	DC1
Plan ND Block 8 Lot 22	9555 - 103 Avenue NW	DC1
Plan ND Block 8 Lot 33	9556 - 102A Avenue NW	DC1
Plan ND Block 9 Lot 32	9556 - 103 Avenue NW	DC1
Plan 226CL Block 4 Lot 19A	9556 - Jasper Avenue NW	DC1
Plan ND Block 4 Lot 23-24	9557 - 102 Avenue NW	DC1
Plan ND Block 9 Lot 22	9557 - 103A Avenue NW	DC1
Plan ND Block 8 Lot 23	9559 - 103 Avenue NW	DC1
Plan ND Block 8 Lot 32	9560 - 102A Avenue NW	DC1
Plan ND Block 9 Lot 31	9560 - 103 Avenue NW	DC1
Plan 226CL Block 4 Lot 20A	9560 - Jasper Avenue NW	DC1
Plan ND Block 1 Lots 37-38	9562 - 101 Avenue NW	DC1
Plan ND Block 8 Lots 24-25	9565 - 103 Avenue NW	DC1
Plan 226CL Block 4 Lots 34A,35A,36A	9566 - Jasper Avenue NW	DC1
Plan ND Block 5 Lot 30	9568 - 102 Avenue NW	DC1
Plan ND Block 5 Lot 31	9568 - 102 Avenue NW	DC1
Plan 226CL Block 4 Lot 33A	9568 - Jasper Avenue NW	DC1
Plan 1323656 Block 4 Lot 1	9576 - Jasper Avenue NW	DC1
Plan ND Block 3 Lot 1	9604 - 101A Avenue NW	DC1
Plan ND Block 10 Lot 1	9604 - 103 Avenue NW	DC1
Plan ND Block 7 Lots 7-8	9609 - 103 Avenue NW	DC1
Plan ND Block 7 Lot 1	9610 - 102A Avenue NW	DC1
Plan ND Block 10 Lot 9	9611 - 103A Avenue NW	DC1
Plan ND Block 6 Lot 47	9612 - 102 Avenue NW	DC1
Plan ND Block 10 Lot 45	9612 - 103 Avenue NW	DC1
Plan ND Block 7 Lot 9	9613 - 103 Avenue NW	DC1
Plan ND Block 7 Lot 46	9614 - 102A Avenue NW	DC1
Plan ND Block 10 Lot 10	9615 - 103A Avenue NW	DC1
Plan ND Block 3 Lots 44-48	9616 - 101A Avenue NW	DC1
Plan ND Block 6 Lot 46	9616 - 102 Avenue NW	DC1
Plan ND Block 7 Lot 45	9616 - 102A Avenue NW	DC1
Plan 226CL Block 2 Lots 9A,10A	9616 - Jasper Avenue NW	DC1
Plan ND Block 7 Lot 10	9617 - 103 Avenue NW	DC1
Plan ND Block 10 Lot 44	9618 - 103 Avenue NW	DC1
Plan ND Block 7 Lot 11	9619 - 103 Avenue NW	DC1
Plan ND Block 10 Lot 11	9619 - 103A Avenue NW	DC1

LEGAL DESCRIPTIONS	ADDRESS	TO
Plan ND Block 6 Lots 44-45	9620 - 102 Avenue NW	DC1
Plan ND Block 7 Lot 44	9620 - 102A Avenue NW	DC1
Plan ND Block 10 Lot 43	9620 - 103 Avenue NW	DC1
Plan ND Block 7 Lot 12	9623 - 103 Avenue NW	DC1
Plan ND Block 10 Lot 12	9623 - 103A Avenue NW	DC1
Plan ND Block 7 Lot 43	9624 - 102A Avenue NW	DC1
Plan ND Block 7 Lot 13	9625 - 103 Avenue NW	DC1
Plan 8421054 Block OT	9625 - 103A Avenue NW	DC1
Plan ND Block 10 Lot 13	9625 - 103A Avenue NW	DC1
Plan ND Block 7 Lot 42	9626 - 102A Avenue NW	DC1
Plan ND Block 10 Lot 42	9626 - 103 Avenue NW	DC1
Plan ND Block 3 Lots 9-13	9629 - 102 Avenue NW	DC1
Plan ND Block 7 Lots 13-14	9629 - 103 Avenue NW	DC1
Plan 8421054 Block OT	9629 - 103A Avenue NW	DC1
Plan ND Block 10 Lot 14	9629 - 103A Avenue NW	DC1
Plan ND Block 3 Lot 43	9630 - 101A Avenue NW	DC1
Plan ND Block 6 Lot 43	9630 - 102 Avenue NW	DC1
Plan ND Block 7 Lot 41	9630 - 102A Avenue NW	DC1
Plan ND Block 10 Lot 41	9630 - 103 Avenue NW	DC1
Plan ND Block 3 Lot 42	9632 - 101A Avenue NW	DC1
Plan 226CL Block 2 Lots 14A,15A	9633 - 101A Avenue NW	DC1
Plan ND Block 3 Lot 14	9633 - 102 Avenue NW	DC1
Plan ND Block 7 Lot 15	9633 - 103 Avenue NW	DC1
Plan 8421054 Block OT	9633 - 103A Avenue NW	DC1
Plan ND Block 10 Lot 15	9633 - 103A Avenue NW	DC1
Plan ND Block 6 Lot 42	9634 - 102 Avenue NW	DC1
Plan ND Block 10 Lot 40	9634 - 103 Avenue NW	DC1
Plan 1422957 Block 6 Lot 48	9635 - 102A Avenue NW	DC1
Plan ND Block 7 Lot 16	9635 - 103 Avenue NW	DC1
Plan ND Block 3 Lots 40-41	9636 - 101A Avenue NW	DC1
Plan ND Block 7 Lots 39-40	9636 - 102A Avenue NW	DC1
Plan 226CL Block 2 Lots 11A,12A,13A	9636 - Jasper Avenue NW	DC1
Plan ND Block 2 Lot 16	9637 - 101A Avenue NW	DC1
Plan ND Block 3 Lots 15-16	9637 - 102 Avenue NW	DC1
Plan 8421054 Block OT	9637 - 103A Avenue NW	DC1
Plan ND Block 10 Lot 16	9637 - 103A Avenue NW	DC1
Plan ND Block 6 Lots 32-41	9638 - 102 Avenue NW	DC1
Plan ND Block 10 Lot 39	9638 - 103 Avenue NW	DC1
Plan ND Block 7 Lot 17	9639 - 103 Avenue NW	DC1
Plan 8421054 Block OT	9639 - 103A Avenue NW	DC1
Plan ND Block 10 Lot 17	9639 - 103A Avenue NW	DC1
Plan ND Block 7 Lot 38	9640 - 102A Avenue NW	DC1
Plan 226CL Block 2 Lot 13A	9640 - Jasper Avenue NW	DC1
Plan 3557ET Block 2 Lot 17	9641 - 101A Avenue NW	DC1
Plan ND Block 3 Lot 17	9641 - 102 Avenue NW	DC1

LEGAL DESCRIPTIONS	ADDRESS	TO
Plan ND Block 6 Lots 16-18	9641 - 102A Avenue NW	DC1
Plan ND Block 3 Lot 39	9642 - 101A Avenue NW	DC1
Plan ND Block 7 Lot 18	9643 - 103 Avenue NW	DC1
Plan 8421054 Block OT	9643 - 103A Avenue NW	DC1
Plan ND Block 10 Lot 18	9643 - 103A Avenue NW	DC1
Plan 3557ET Block 2 Lot 18	9643A - 101A Avenue NW	DC1
Plan ND Block 7 Lot 37	9644 - 102A Avenue NW	DC1
Plan 3557ET Block 2 Lot 19	9645 - 101A Avenue NW	DC1
Plan ND Block 3 Lots 18-19	9645 - 102 Avenue NW	DC1
Plan ND Block 7 Lot 19	9645 - 103 Avenue NW	DC1
Plan 8421054 Block OT	9645 - 103A Avenue NW	DC1
Plan ND Block 10 Lot 19	9645 - 103A Avenue NW	DC1
Plan ND Block 7 Lot 36	9646 - 102A Avenue NW	DC1
Plan ND Block 10 Lots 37-38	9646 - 103 Avenue NW	DC1
Plan 226CL Block 2 Lots 13A,14A	9646 - Jasper Avenue NW	DC1
Plan 3557ET Block 2 Lot 20	9649 - 101A Avenue NW	DC1
Plan ND Block 7 Lot 20	9649 - 103 Avenue NW	DC1
Plan 8421054 Block OT	9649 - 103A Avenue NW	DC1
Plan ND Block 10 Lot 20	9649 - 103A Avenue NW	DC1
Plan ND Block 3 Lot 33-38	9650 - 101A Avenue NW	DC1
Plan ND Block 7 Lot 35	9650 - 102A Avenue NW	DC1
Plan ND Block 6 Lot 19	9651 - 102A Avenue NW	DC1
Plan 8421054 Block OT	9651 - 103A Avenue NW	DC1
Plan ND Block 10 Lot 21	9651 - 103A Avenue NW	DC1
Plan 226CL Block 2 Lot 39A	9652 - Jasper Avenue NW	DC1
Plan ND Block 6 Lots 20-23	9653 - 102A Avenue NW	DC1
Plan ND Block 7 Lot 34	9654 - 102A Avenue NW	DC1
Plan ND Block 2 Lots 21-22	9655 - 101A Avenue NW	DC1
Plan ND Block 3 Lots 20-22	9655 - 102 Avenue NW	DC1
Plan ND Block 7 Lot 21	9657 - 103 Avenue NW	DC1
Plan 8421054 Block OT	9657 - 103A Avenue NW	DC1
Plan ND Block 10 Lot 22	9657 - 103A Avenue NW	DC1
Plan ND Block 7 Lot 33	9658 - 102A Avenue NW	DC1
Plan ND Block 3 Lots 23-24	9659 - 102 Avenue NW	DC1
Plan ND Block 7 Lots 22-23	9659 - 103 Avenue NW	DC1
Plan ND Block 7 Lot 32	9662 - 102A Avenue NW	DC1
Plan ND Block 2 Lots 23-26	9663 - 101A Avenue NW	DC1
Plan ND Block 2 Lots 34-35	9666 - Jasper Avenue NW	DC1
Plan ND Block 2 Lot 33	9676 - Jasper Avenue NW	DC1
Plan ND Block 2 Lot 32	9680 - Jasper Avenue NW	DC1
Plan ND Block 2 Lots 30-31	9688 - Jasper Avenue NW	DC1
Plan ND Block 2 Lots 29-30	9696 - Jasper Avenue NW	DC1
Plan ND Block 7 Lot 23	9863 - 103 Avenue NW	DC1

SCHEDULE “C”**(DC1) DIRECT DEVELOPMENT CONTROL PROVISION
(CQ) CIVIC QUARTER****1. General Purpose**

The purpose of this Provision is to accommodate civic uses and mixed-use, medium and high rise development. Development should have active, pedestrian friendly retail frontage along 97 Street that is compatible in scale, function, built form and design with surrounding developments, in accordance with Section 860 of the Zoning Bylaw, The Quarters Downtown Area Redevelopment Plan and The Quarters Downtown Urban Design Plan.

2. Area of Application

This Provision shall apply to Area 1 and Area 2 as shown on Appendix I.

3. Uses

- a. Apartment Hotels
- b. Apartment Housing
- c. Bars and Neighbourhood Pubs
- d. Business Support Services
- e. Child Care Services
- f. Commercial Schools
- g. Convenience Retail Stores
- h. Extended Medical Treatment Services
- i. General Retail Stores
- j. Government Services
- k. Group Homes
- l. Health Services
- m. Hotels
- n. Indoor Participant Recreation Services
- o. Lodging Houses

- p. Minor Alcohol Sales
- q. Minor Amusement Establishment
- r. Minor Home Based Business
- s. Nightclubs
- t. Personal Service Shops
- u. Private Clubs
- v. Private Education Services
- w. Professional, Financial and Office Support Services
- x. Projecting On-premises Signs
- y. Protective and Emergency Services
- z. Public Education Services
- aa. Public Libraries and Cultural Exhibits
- bb. Residential Sales Centres
- cc. Restaurants
- dd. Row Housing
- ee. Specialty Food Services
- ff. Stacked Row Housing
- gg. Urban Gardens
- hh. Urban Outdoor Farms
- ii. Veterinary Services
- jj. Fascia On-premises Signs
- kk. Temporary On-premises Signs

4. Development Regulations

Area 1

- a. The minimum Building Height shall not be less than 11.0 m, nor 3 Storeys.
- b. The maximum Building Height shall not exceed 77.0 m, nor 23 Storeys subject to Section 860 of the Zoning Bylaw of the Zoning Bylaw.
- c. The minimum Floor Area Ratio shall be 3.0 subject to Section 860 of the Zoning Bylaw.

- d. The maximum Floor Area Ratio shall be 8.0 subject to Section 860 of the Zoning Bylaw.

Area 2

- a. The minimum Building Height shall not be less than 11.0 m, nor 3 Storeys.
- b. The maximum Building Height shall not exceed 113.0 m, nor 33 Storeys subject to Section 860 of the Zoning Bylaw of the Zoning Bylaw.
- c. The minimum Floor Area Ratio shall be 3.0. subject to Section 860 of the Zoning Bylaw.
- d. The maximum Floor Area Ratio shall be 10.0 subject to Section 860 of the Zoning Bylaw.

General Provisions

- a. Bars and Neighbourhood Pubs and Nightclubs shall not exceed a capacity of 200 occupants or 240m² of Public Space.
- b. General Retail Store shall not exceed a Gross Floor Area of 2,100 m².
- c. Specialty Food Services shall not exceed a capacity of 200 occupants or 120m² of Public Space.
- d. Temporary On-premises Signs shall be limited to project advertising and residential sale purposes only. Trailer mounted signs and/or signs with changeable copy are not permitted.
- e. The second and the third Storeys of developments located in the areas identified for Commercial Uses may be used exclusively for either Residential Uses or Commercial Uses.
- f. All on-site resident and tenant parking shall be provided within a structure. Visitor and customer Parking may be provided at grade to a maximum of 2 stalls per 10.0 m of site frontage.
- g. The first floor of any frontage, including the associated entranceway, shall have a maximum grade separation of 1.2 m from any abutting public sidewalk.
- h. Notwithstanding the Incentive System provided for in Section 860 of the Zoning Bylaw, prior to the issuance of a Development Permit for any base level development, the Development Officer shall ensure a signed agreement exists between the City and the Owner providing the City the option to purchase 5% of the proposed number of residential dwellings at 85% of the market price, OR to address affordable housing contributions as prescribed by City Council policy C582.
- i. Parking shall be provided in accordance with Section 860 of the Zoning Bylaw.
- j. Signage shall be provided in accordance with Section 860 of the Zoning Bylaw.
- k. Urban Outdoor Farms shall comply with Section 98 of the Zoning Bylaw.
- l. Urban Gardens shall comply with Section 98 of the Zoning Bylaw.

5. Urban Design Regulations

- a. Site Planning shall be addressed in accordance with The Quarters Downtown Urban Design Plan.
- b. Setbacks

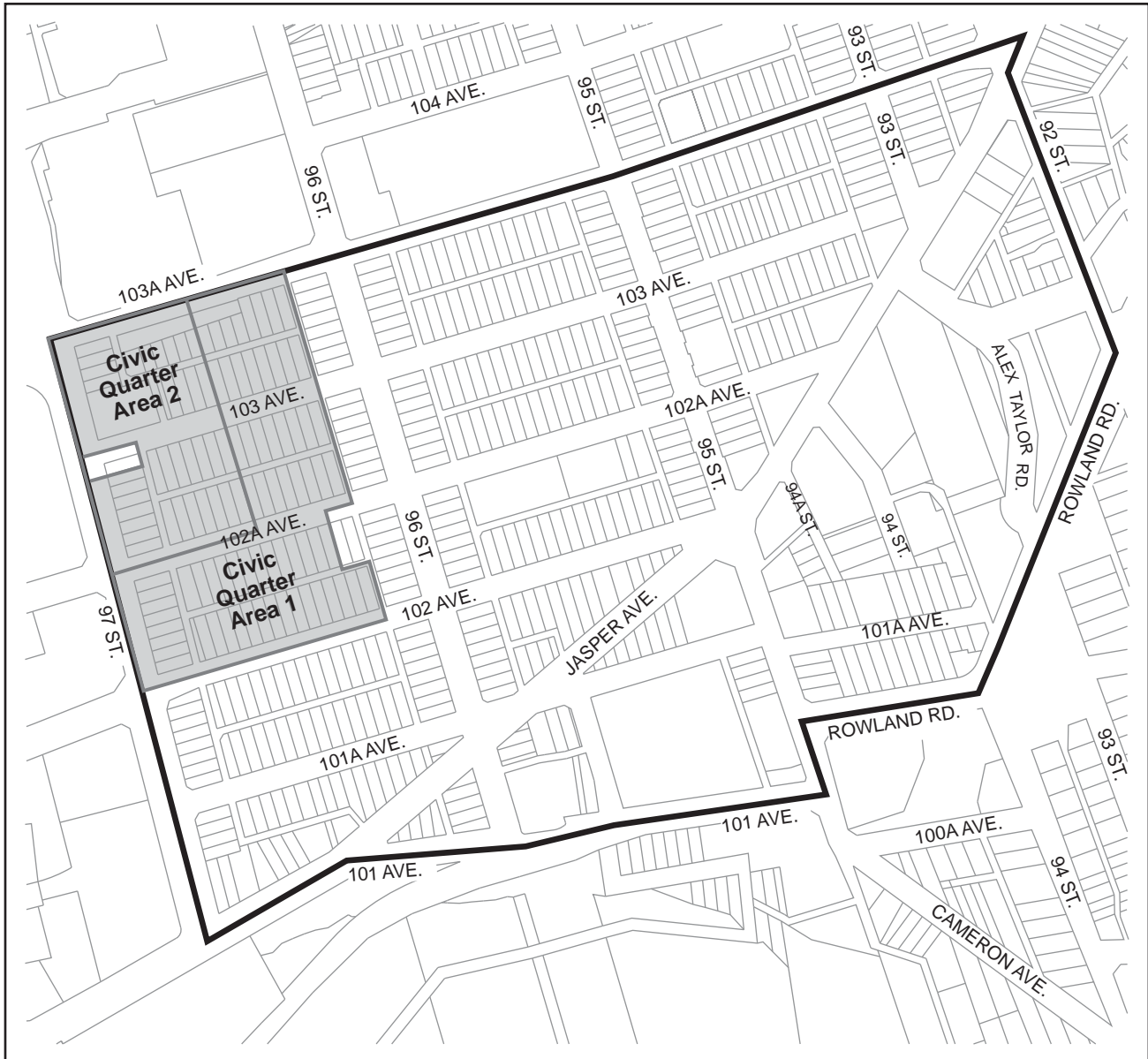
No Building Setbacks are required excepting that:

 - i. A minimum 1.5 m Setback shall be required from an abutting laneway.
 - ii. A minimum 3.0 m Setback shall be required from north-south mid-block pedestrian street.
- c. Additional Building Setbacks may be required where the north-south mid-block pedestrian street intersects 102, 102A, 103 and/ or 103A Avenues to provide visual interest and enhance sight-lines to the satisfaction of the Development Officer.
- d. No Building setbacks are required from property lines abutting Avenue or Street right-of-ways or from lot lines internal to a block.
- e. Additional Building Setbacks shall be provided to address sight lines at roadway intersections to the satisfaction of the Development Officer in consultation with Transportation Planning and Engineering.
- f. Additional Building Setbacks shall be provided at the discretion of the Development Officer to ensure new development is setback in manner consistent with existing heritage buildings.
- g. Where the ground floor of any development is designed for Residential Uses, the Development Officer may allow a setback for the following purposes:
 - i. to allow for staircases to project from the Building wall to the property line, and
 - ii. to contain a combination of hard and soft landscaping.
- h. Where the ground floor of any development is designed for Commercial Uses, Buildings shall be built to the front and side property lines. The Development Officer may allow a front setback to accommodate street related activities such as sidewalk cafes, architectural features and landscaping.
- i. Stepbacks
 - i. In Areas 1 and 2, a minimum 3.0 m Stepback shall be required for Buildings adjacent to an Avenue, Street, laneway, or north-south mid-block pedestrian street at approximately 11.0 m of Building height.
 - ii. At the discretion of the Development Officer, additional stepbacks may be required adjacent to lot lines internal to a block having regard to the character of the surrounding built form, the objectives of The Quarters Downtown Urban Design Plan and Crime Prevention Through Environmental Design principles.

- j. Building Entrances shall be developed in accordance with Section 860 of the Zoning Bylaw.
- k. Weather Protection shall be provided in accordance with Section 860 of the Zoning Bylaw.
- l. Architectural Control shall be in accordance with Section 860 of the Zoning Bylaw.



Civic Quarter



SCHEDULE “D”

**(DC1) DIRECT DEVELOPMENT CONTROL PROVISION
(FQ) FIVE CORNERS HIGH DENSITY QUARTER**

1. General Purpose

The purpose of this Provision is to accommodate a predominately high-rise, high density residential development with ground oriented commercial uses. The development shall be pedestrian friendly and compatible in scale, function, built form and urban design with surrounding developments, in accordance with Section 860 of the Zoning Bylaw, The Quarters Downtown Area Redevelopment Plan and The Quarters Downtown Urban Design Plan.

2. Location

This Provision shall apply to the lands shown on Appendix I.

3. Uses**Area 1**

- a. Apartment Hotels
- b. Apartment Housing
- c. Bars and Neighbourhood Pubs
- d. Child Care Services
- e. Garage Suites, where developed on a lot occupied by Single Detached Housing at the time this Provision was adopted
- f. Lodging Houses
- g. Minor Home Based Business
- h. Private Education Services
- i. Residential Sales Centres
- j. Single Detached Housing, where existing at the time this Provision was adopted
- k. Stacked Row Housing
- l. Temporary On-premises Signs
- m. Secondary Suites, where developed within existing Single Detached Housing at the time this Provision was adopted
- n. Urban Gardens
- o. Urban Outdoor Farms

Area 2 and Area 3

- a. All uses in Area 1
- b. Media Studios
- c. Business Support Services
- d. Commercial Schools
- e. Convenience Retail Stores
- f. Extended Medical Treatment Services
- g. General Retail Stores
- h. Health Services
- i. Hotels
- j. Indoor Participant Recreation Services
- k. Minor Alcohol Sales
- l. Minor Amusement Establishment
- m. Nightclubs
- n. Personal Service Shops
- o. Private Clubs
- p. Professional, Financial and Office Support Services
- q. Protective and Emergency Services
- r. Public Education Services
- s. Public Libraries and Cultural Exhibits
- t. Religious Assembly
- u. Residential Sales Centre
- v. Row Housing
- w. Secondhand Stores
- x. Stacked Row Housing
- y. Restaurants
- z. Specialty Food Services
- aa. Veterinary Services
- bb. Fascia On-premises Signs
- cc. Projecting On-premises Signs

4. Development Regulations

Area 1

- a. The minimum Building Height shall not be less than 11.0 m, nor 3 Storeys.
- b. The maximum Building Height shall not exceed 85.0 m, nor 28 Storeys, subject to Section 860 of the Zoning Bylaw.
- c. The minimum Floor Area Ratio shall be 3.0, subject to Section 860 of the Zoning Bylaw. The maximum Floor Area Ratio shall be 8.0, subject to Section 860 of the Zoning Bylaw.

Area 2

- a. The minimum Building Height shall not be less than 11.0m, nor 3 Storeys.
- b. The maximum Building Height shall not exceed 85.0m, nor 28 Storeys, subject to Section 860 of the Zoning Bylaw and Section 810 of the Zoning Bylaw.
- c. The minimum Floor Area Ratio shall be 3.0, subject to Section 860 of the Zoning Bylaw.
- d. The maximum Floor Area Ratio shall be 8.0, subject to Section 860 of the Zoning Bylaw.

Area 3

- a. The minimum Building Height shall not be less than 11.0m, nor 3 Storeys.
- b. The maximum Building Height shall not exceed 150.0m, nor 45 Storeys, subject to Section 860 of the Zoning Bylaw and Section 810 of the Zoning Bylaw.
- c. The minimum Floor Area Ratio shall be 3.0. subject to Section 860 of the Zoning Bylaw.
- d. The maximum Floor Area Ratio shall be 11.0, subject to Section 860 of the Zoning Bylaw.

General Provisions

- a. Bars and Neighbourhood Pubs and Restaurants shall not exceed a capacity of 100 occupants or 120m² of Public Space.
- b. Nightclubs shall not exceed a capacity of 200 occupants or 240m² of Public Space.
- c. Specialty Food Services shall not exceed a capacity of 100 occupants or 150m² of Public Space.
- d. Stacked Row Housing must be combined with other permitted uses.

- e. Temporary On-premises Signs shall be limited to project advertising and residential sale purposes only. Trailer mounted signs and/or signs with changeable copy shall not be permitted.
- f. The minimum Site Area shall be 600 m²; excepting that the minimum Site Area for a tower is 860 m².
- g. The second and third Storeys of developments located in the areas identified for Commercial Uses may be used exclusively for either Residential Uses or Commercial Uses.
- h. Residential and Residential Related Uses shall occupy no less than 33.3% of the Floor Area in new Buildings.
- i. For Areas 2 and 3, all on-site resident and tenant parking shall be provided within a structure. Visitor and customer Parking may be provided at grade to a maximum of 2 stalls per 10.0 m of site frontage.
- j. Notwithstanding the Incentive System provided for in Section 860 of the Zoning Bylaw, prior to the issuance of a Development Permit for any base level development, the Development Officer shall ensure a signed agreement exists between the City and the Owner providing the City the option to purchase 5% of the proposed number of residential dwellings at 85% of the market price, OR to address affordable housing contributions as prescribed by City Council policy C582.
- k. Parking shall be provided in accordance with Section 860 of the Zoning Bylaw.
- l. Signage shall be developed in accordance with Section 860 of the Zoning Bylaw.
- m. Urban Outdoor Farms shall comply with Section 98 of the Zoning Bylaw.
- n. Urban Gardens shall comply with Section 98 of the Zoning Bylaw.

5. Urban Design Regulations

- a. Site Planning shall be in accordance with The Quarters Downtown Urban Design Plan.
- b. In Area 1, a minimum 4.5 m Setback shall be required from any laneway property line, except for entrances to underground parkades.
- c. In Area 1, a minimum 1.0 m Setback shall be required from lot lines internal to a block for every Storey of Buildings up to 6 Storeys in height. A minimum 7.5 m Setback shall be required from lot lines internal to a block for Buildings greater than 6 storeys in height.
- d. In Areas 2 and 3, a minimum 1.5 m Setback shall be required from any laneway property line, except for entrances to underground parkades.
- e. In Areas 1 and 2, additional Building Setbacks shall be provided at the discretion of the Development Officer to ensure new development is setback in manner consistent with existing heritage buildings.

- f. Buildings at the intersection of Jasper Avenue, 95 Street and 102 Avenue shall be Setback to the satisfaction of the Development Officer as follows:
 - i. The first 8.0 m (2 floors) of every Building at the intersection of Jasper Avenue and 95 Street shall be Setback a minimum of 35.0 m from where the centrelines of Jasper Avenue and 95 Street intersect.
 - ii. Additional Building Setbacks shall be provided to address sight lines at roadway intersections to the satisfaction of the Development Officer in consultation with Transportation Planning and Engineering.
- g. Where the ground floor of any development is designed for Commercial Uses, Buildings shall be built to the front and side property lines. The Development Officer may allow a front setback to accommodate street related activities such as sidewalk cafes, architectural features and landscaping.
- h. Stepbacks
 - i. In Area 2 and 3, no Stepbacks are required adjacent to Streets and Avenues.
 - ii. In Areas 2 and 3, a minimum 3.0 m Stepback shall be required for towers adjacent to laneways at approximately 11.0 m of Building height.
 - iii. In Areas 2 and 3, a minimum 7.5 m Stepback shall be required for towers adjacent to internal lot lines at approximately 11.0 m of Building height.
 - iv. At the discretion of the Development Officer, Stepbacks may be required adjacent to Streets, Avenues, and lot lines internal to a block having regard to the character of the surrounding built form, the objectives of The Quarters Downtown Urban Design Plan, and Crime Prevention Through Environmental Design principles.
- i. Parking areas shall be developed in accordance with Section 860 of the Zoning Bylaw.
- j. Building Entrances shall be developed in accordance with Section 860 of the Zoning Bylaw.
- k. Weather Protection shall be provided in accordance with Section 860 of the Zoning Bylaw.
- l. Architectural Control shall be in accordance with Section 860 of the Zoning Bylaw.



Five Corners High Density Quarter



SCHEDULE “E”**(DC1) DIRECT DEVELOPMENT CONTROL PROVISION
(HQ) HERITAGE QUARTER****1. General Purpose**

The purpose of this Provision is to preserve and integrate a concentration of Provincially and Municipally designated Historic Resources with new development. This Quarter shall include mixed use development with active commercial or residential frontages that is tourist and pedestrian friendly and compatible in scale, function, built form and design with the historical and architectural character of the area, in accordance with Section 860 of the Zoning Bylaw, The Quarters Downtown Area Redevelopment Plan, and The Quarters Downtown Urban Design Plan.

2. Area of Application

This Provision shall apply to the lands as shown on Appendix I.

3. Uses

- a. Apartment Hotels
- b. Apartment Housing
- c. Auctioneering Establishments
- d. Bars and Neighbourhood Pubs
- e. Business Support Services
- f. Child Care Services
- g. Commercial Schools
- h. Convenience Retail Stores
- i. General Retail Stores
- j. Government Services
- k. Group Home
- l. Health Services
- m. Hotels
- n. Lodging Houses
- o. Minor Alcohol Sales
- p. Minor Amusement Establishment
- q. Minor Home Based Business
- r. Personal Service Shops
- s. Private Clubs

- t. Professional, Financial and Office Support Services
- u. Protective and Emergency Services
- v. Public Education Services
- w. Public Libraries and Cultural Exhibits
- x. Row housing
- y. Secondhand Stores
- z. Stacked Row Housing
- aa. Residential Sales Centres
- bb. Restaurants
- cc. Specialty Food Services
- dd. Urban Gardens
- ee. Urban Outdoor Farms
- ff. Veterinary Services
- gg. Fascia On-premises Signs
- hh. Projecting On-premises Signs
- ii. Temporary On-premises Signs

4. Development Regulations

Area 1

- a. The minimum Building Height shall not be less than 11.0m, nor 3 Storeys.
- b. The maximum Building Height shall not exceed 23.0 m, nor 6 Storeys, subject to Section 860 of the Zoning Bylaw.
- c. The minimum Floor Area Ratio shall be 3.0, subject to Section 860 of the Zoning Bylaw.
- d. The maximum Floor Area Ratio shall be 4.5, subject to Section 860 of the Zoning Bylaw.

Area 2

- a. The minimum Building Height shall not be less than 11.0m, nor 3 Storeys.
- b. The maximum Building Height shall not exceed 50.0 m, nor 15 Storeys, subject to Section 860 of the Zoning Bylaw and Section 810 of the Zoning Bylaw.
- c. The minimum Floor Area Ratio shall be 3.0, subject to Section 860 of the Zoning Bylaw.
- d. The maximum Floor Area Ratio shall be 6.0, subject to Section 860 of the Zoning Bylaw.

General Provisions

- a. Residential and Residential Related Uses shall be located above the ground floor.
- b. Residential and Residential Related Uses shall occupy no less than 33.3% of the Floor Area in new Buildings.
- c. Bars and Neighbourhood Pubs shall not exceed a capacity of 150 occupants or 180m² of Public Space.
- d. Minor Amusement Establishments shall only be permitted as an accessory use to a restaurant.
- e. Restaurants and Specialty Food Services shall not exceed a capacity of 200 occupants or 240m² of Public Space
- f. Temporary On-premises Signs shall be limited to project advertising and residential sale purposes only. Trailer mounted signs and/or signs with changeable copy shall not be permitted.
- g. Notwithstanding the Incentive System provided for in Section 860 of the Zoning Bylaw, prior to the issuance of a Development Permit for any base level development, the Development Officer shall ensure a signed agreement exists between the City and the Owner providing the City the option to purchase 5% of the proposed number of residential dwellings at 85% of the market price, OR to address affordable housing contributions as prescribed by City Council policy C582.
- h. Parking shall be provided in accordance with Section 860 of the Zoning Bylaw.
- i. Signage shall be developed in accordance with Section 860 of the Zoning Bylaw.
- j. Urban Outdoor Farms shall comply with Section 98 of the Zoning Bylaw.
- k. Urban Gardens shall comply with Section 98 of the Zoning Bylaw.

5. Urban Design Regulations

- a. Site planning shall be in accordance with The Quarters Downtown Urban Design Plan.
- b. Setbacks
No Building setbacks are required excepting that:
 - i. The minimum Building Setback from an abutting laneway in Area 2 shall be 1.5m.
 - ii. A minimum 3.0 m Setback shall be required from the north-south mid-block pedestrian street.
- c. Additional Building Setbacks may be required where the north-south mid-block pedestrian street intersects Jasper Avenue, or 101A and 102 Avenue to provide visual interest and enhance sightlines to the satisfaction of the Development Officer.

- d. Additional Building Setbacks shall be provided to address sight lines at roadway intersections to the satisfaction of the Development Officer in consultation with Transportation Planning and Engineering.
- e. Additional Building Setbacks shall be provided at the discretion of the Development Officer to ensure new development is setback in manner consistent with existing heritage buildings.
- f. Where the ground floor of any development is designed for Residential Uses, the Development Officer may allow a setback for the following purposes:
 - i. to allow for staircases to project from the Building wall to the property line, and
 - ii. to contain a combination of hard and soft landscaping.
- g. Where the ground floor of any development is designed for Commercial Uses, Buildings shall be built to the front and side property lines. The Development Officer may allow a front setback to accommodate street related activities such as sidewalk cafes, architectural features and landscaping.
- h. Building Stepbacks

In Area 1, no Building Stepbacks are required.

 - i. In Area 2, no Building Stepbacks are required for Buildings adjacent to Street right-of-ways or lot lines internal to a block.
 - ii. In Area 2, a minimum 3.0 Stepback shall be required for Buildings at approximately 21.0 m of Building height.
 - iii. In Area 2, a minimum 3.0 Stepback shall be required for Buildings adjacent to the north-south, mid-block pedestrian street at approximately 7.0m and 14.0m of Building height.

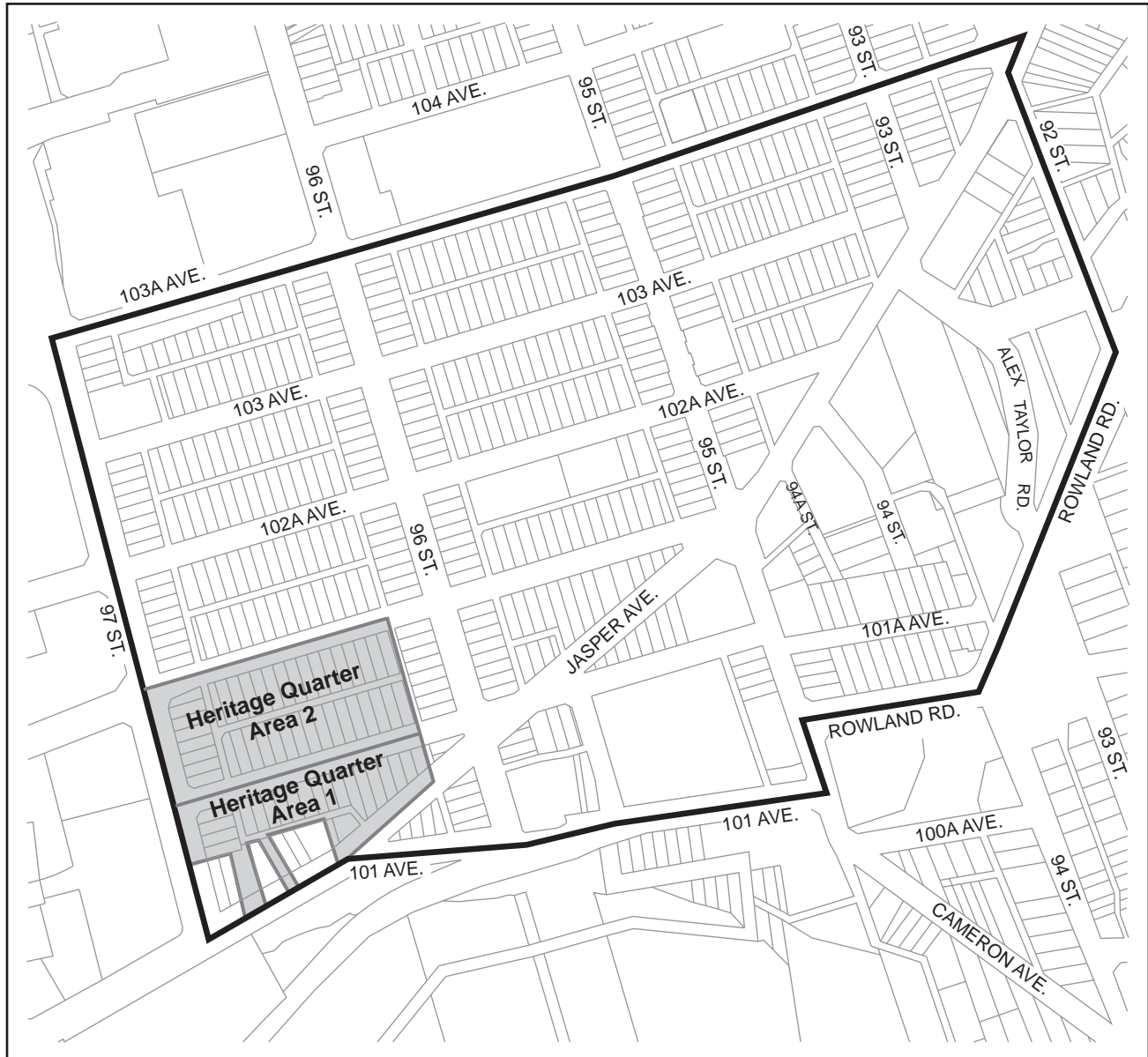
Or

- iv. In Area 2, a minimum 6.0 m Stepback shall be required for Buildings adjacent to any north-south, mid-block pedestrian street at approximately 11.0 m of Building height.
- v. At the discretion of the Development Officer, Stepbacks may be required for Buildings adjacent to Street rights-of-way or lot lines internal to a block, having regard for the character of the surrounding built form, the objectives of The Quarters Downtown Urban Design Plan and Crime Prevention Through Environmental Design principles.
- i. Parking areas shall be developed in accordance with Section 860 of the Zoning Bylaw.
- j. Building Entrances shall be developed in accordance with Section 860 of the Zoning Bylaw.

- k. Weather Protection shall be provided in accordance with Section 860 of the Zoning Bylaw.
- l. Architectural control shall be in accordance with Section 860 of the Zoning Bylaw.



Heritage Quarter



SCHEDULE “F”**DC1) DIRECT DEVELOPMENT CONTROL PROVISION
(MQ) McCAULEY QUARTER AREA 2****1. General Purpose**

The purpose of this Provision is to accommodate a mix of low to medium density residential and local commercial development that is pedestrian friendly and compatible in scale, function, built form and urban design with surrounding developments; all in accordance with Section 860 of the Zoning Bylaw, The Quarters Downtown Area Redevelopment Plan and The Quarters Downtown Urban Design Plan.

2. Area of Application

This Provision shall apply to the lands as shown in Appendix I.

3. Uses

- a. Apartment Housing
- b. Business Support Services
- c. Child Care Services
- d. Commercial Schools
- e. Community Recreation Services
- f. Convenience Retail Stores
- g. Creation and Production Establishments
- h. Equipment Rentals
- i. General Retail Stores
- j. Live-Work Unit
- k. Health Services
- l. Household Repair Services
- m. Limited Contractor Services
- n. Limited Group Homes
- o. Lodging Houses
- p. Minor Amusement Establishment
- q. Minor Home Based Business
- r. Personal Service Shops
- s. Professional, Financial and Office Support Services
- t. Projecting On-premises Signs

- u. Religious Assembly
- v. Residential Sales Centres
- w. Restaurants
- x. Specialty Food Services
- y. Stacked Row Housing including Row Housing, Semi-detached and Duplex Housing
- z. Urban Gardens
- aa. Urban Outdoor Farms
- bb. Veterinary Services
- cc. Fascia On-premises Signs
- dd. Freestanding Signs
- ee. Temporary On-premises Signs

4. Development Regulations

- a. The minimum Building Height shall be no less than 7.0m, nor 2 Storeys.
- b. The maximum Building Height shall not exceed 23.0m, nor 6 Storeys, subject to Section 860 of the Zoning Bylaw.
- c. The minimum Floor Area Ratio shall be 2.0, subject to Section 860 of the Zoning Bylaw.
- d. The maximum Floor Area Ratio shall be 3.5, subject to Section 860 of the Zoning Bylaw.

General Provisions

- a. Residential and Residential Related Uses shall occupy no less than 50% of the Floor Area in new Buildings.
- b. Equipment Rentals shall be within an enclosed building.
- c. General Retail Stores shall not exceed a capacity of 750m² of Gross Floor Area.
- d. Minor Amusement Establishments shall only be permitted as an accessory use to a restaurant.
- e. Restaurants shall not exceed a capacity of 200 occupants or 240m² of Public Space.
- f. Specialty Food Services shall not exceed a capacity of 150 occupants or 75m² of Public Space.
- g. Stacked Row Housing including Row Housing, Semi-detached and Duplex Housing shall not isolate another site within this Zone of less than 500m².
- h. Freestanding Signs shall be limited to neighbourhood identification signage as specified in Section 59B.

- i. Urban Outdoor Farms shall comply with Section 98 of the Zoning Bylaw.
- j. Urban Gardens shall comply with Section 98 of the Zoning Bylaw.

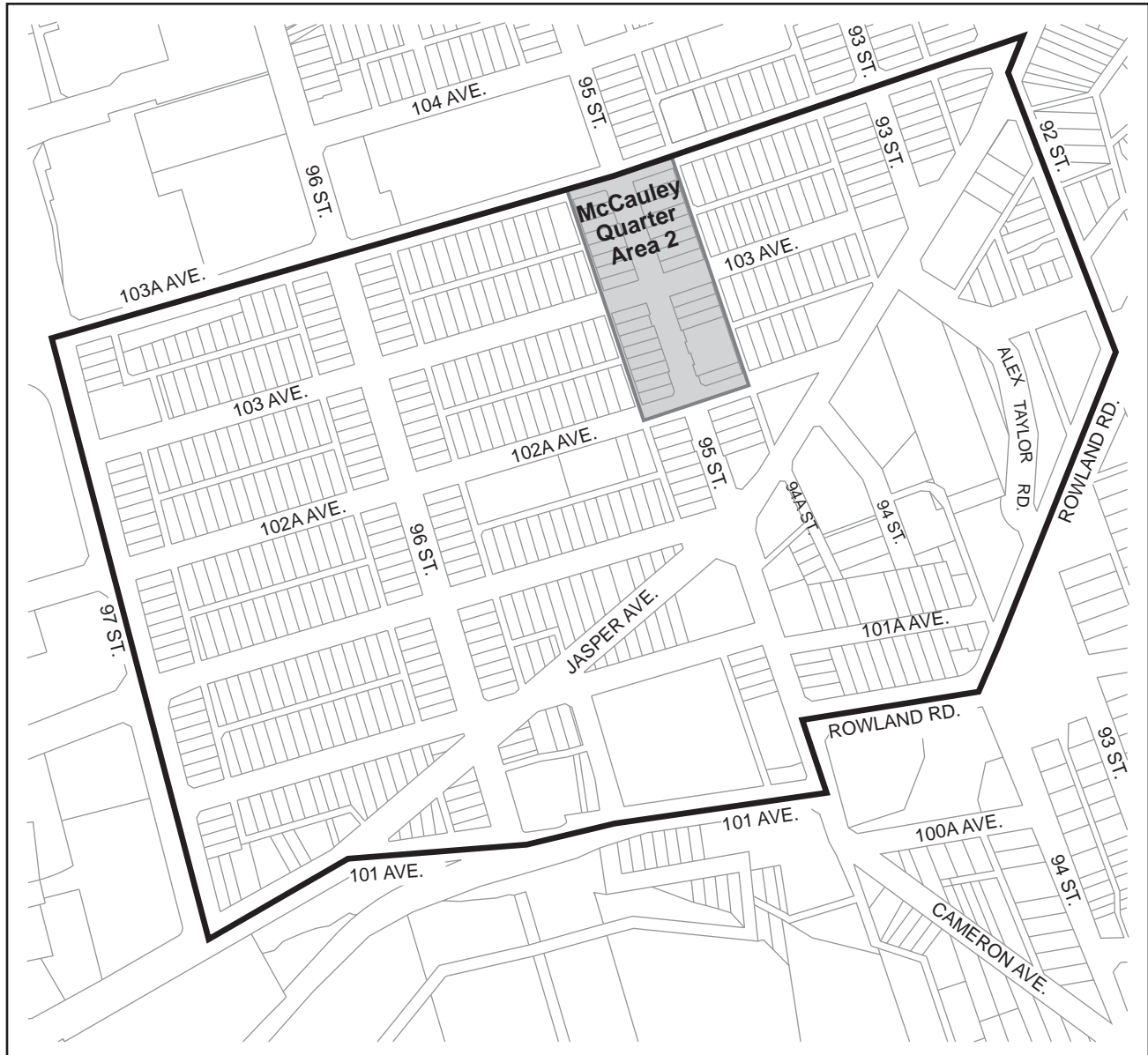
5. Urban Design Regulations

- a. Site Planning shall be in accordance with The Quarters Downtown Urban Design Plan and Section 860 of the Zoning Bylaw.
- b. Setbacks
 - i. A minimum 3.0 m setback shall be required from the front property line abutting the Avenue road right-of-way.
 - ii. A minimum 7.5m setback shall be required from the rear lot line for the principle structure and a 2.75m setback shall be required from the rear lot line for a detached garage.
 - iii. A minimum 1.2 m to 3.0 m setback shall be required from side lot lines including those abutting a laneway based on the following:
 - A. For Sites 370m² or less, the minimum Setback shall be 1.2 m from the side lot line;
 - B. For Sites greater than 370m² and less than 740 m², the minimum Setback shall be 2.1 m from the side lot line; and
 - C. For Sites greater than 740 m², the minimum Setback shall be 3.0 m from the side lot line.
 - iv. Additional Building Setbacks shall be provided to address sight lines at roadway intersections to the satisfaction of the Development Officer in consultation with Transportation Planning and Engineering.
 - v. Where the ground floor of any development is designed for Residential or Residential Related Uses, the front setback area shall contain a combination of hard and soft landscaping.
 - vi. Where the ground floor of any development is designed for Residential or Residential Related Uses and is setback from the property line, the Development Officer may allow one Storey features, such as bay windows, front porches, and staircases to project from the Building wall to the property line, provided the area where the feature is projecting is landscaped.
- c. Stepbacks
 - i. In Area 1, no Building Stepbacks are required.
 - ii. In Area 3, a minimum 3.0m Stepback shall be required for Buildings adjacent to an east/west laneway above approximately 7.0 m of Building Height.

- iii. In Area 3, a minimum 3.0 m Stepback shall be required adjacent to the Avenue above approximately 7.0 m of Building height. No Building Stepbacks are required from any lot lines internal to a block in Area 3.
- iv. At the discretion of the Development Officer, Stepbacks may be required from lot lines internal to a block having regard to the character of the surrounding built form, the objectives of The Quarters Downtown Urban Design Plan and Crime Prevention Through Environmental Design principles.
- v. Fences along the primary frontage shall not exceed 1.2 m.
- vi. Parking areas shall be developed in accordance with Section 860 of the Zoning Bylaw.
- vii. Building Entrances shall be developed in accordance with Section 860 of the Zoning Bylaw.
- viii. Weather Protection shall be developed in accordance with Section 860 of the Zoning Bylaw.
- ix. Built forms shall be developed in accordance with Section 860 of the Zoning Bylaw.



McCauley Quarter Area 2



SCHEDULE “G”**(DC1) DIRECT DEVELOPMENT CONTROL PROVISION
(MQ) McCAULEY QUARTER AREAS 1 & 3****1. General Purpose**

The purpose of this Provision is to accommodate low to medium density residential development in a mix of built forms. Development shall be pedestrian friendly and compatible in scale, function, and built form with surrounding developments, in accordance with Section 860 of the Zoning Bylaw, The Quarters Downtown Area Redevelopment Plan and the Quarters Downtown Urban Design Plan.

2. Area of Application

This Provision shall apply to the lands shown on Appendix 1.

3. Uses

- a. Apartment Housing
- b. Child Care Services
- c. Duplex Housing
- d. Garage Suites
- e. Group Homes
- f. Limited Group Homes
- g. Live-Work Unit
- h. Lodging Houses
- i. Major Home Based Business
- j. Minor Home Based Business
- k. Personal Service Shops and Convenience Retail Stores
- l. Professional, Financial and Office and Support Services
- m. Religious Assembly
- n. Residential Sales Centre
- o. Row Housing
- p. Secondary Suites
- q. Semi-detached Housing
- r. Single Detached Housing
- s. Stacked Row Housing
- t. Fascia On-premises Signs
- u. Freestanding Signs

- v. Projecting On-premises Signs
- w. Temporary On-premises Signs
- x. Urban Gardens
- y. Urban Outdoor Farms

4. Development Regulations

Area 1

- a. The maximum Building Height shall not exceed 23.0m, nor 6 Storeys subject to Section 860.5 of the Zoning Bylaw.
- b. The maximum Floor Area Ratio shall be 3.5, subject to Section 860 of the Zoning Bylaw.

Area 3

- a. The maximum Building Height shall not exceed 27.0m, nor 8 Storeys subject to Section 860.5 of the Zoning Bylaw.
- b. The maximum Floor Area Ratio shall be 4.0, subject to Section 860 of the Zoning Bylaw.

General Provisions

- a. The minimum Building Height shall not be less than 7.0 m, nor 2 Storeys.
- b. Apartment Housing, Lodging Houses, Row Housing, and Stacked Row Housing shall not isolate an adjacent Site of 500m² or less.
- c. Temporary On-premises Signs shall be limited to project advertising and residential sale purposes only. Trailer mounted signs and/or signs with changeable copy shall not be permitted.
- d. Freestanding Signs shall be limited to neighbourhood identification signage as specified in Section 59B.
- e. Residential and Residential Related Uses shall occupy no less than 50% of the Floor Area in new Buildings.
- f. Notwithstanding the Incentive System provided for in Section 860 of the Zoning Bylaw, prior to the issuance of a Development Permit for any base level development, the Development Officer shall ensure a signed agreement exists between the City and the Owner providing the City the option to purchase 5% of the proposed number of residential dwellings at 85% of the market price, OR to address affordable housing contributions as prescribed by City Council policy. C582.
- g. Parking shall be provided in accordance with Section 860 of the Zoning Bylaw.
- h. Signage shall be applied in accordance with Section 860 of the Zoning Bylaw.

- i. Urban Outdoor Farms shall comply with Section 98 of the Zoning Bylaw.
- j. Urban Gardens shall comply with Section 98 of the Zoning Bylaw.

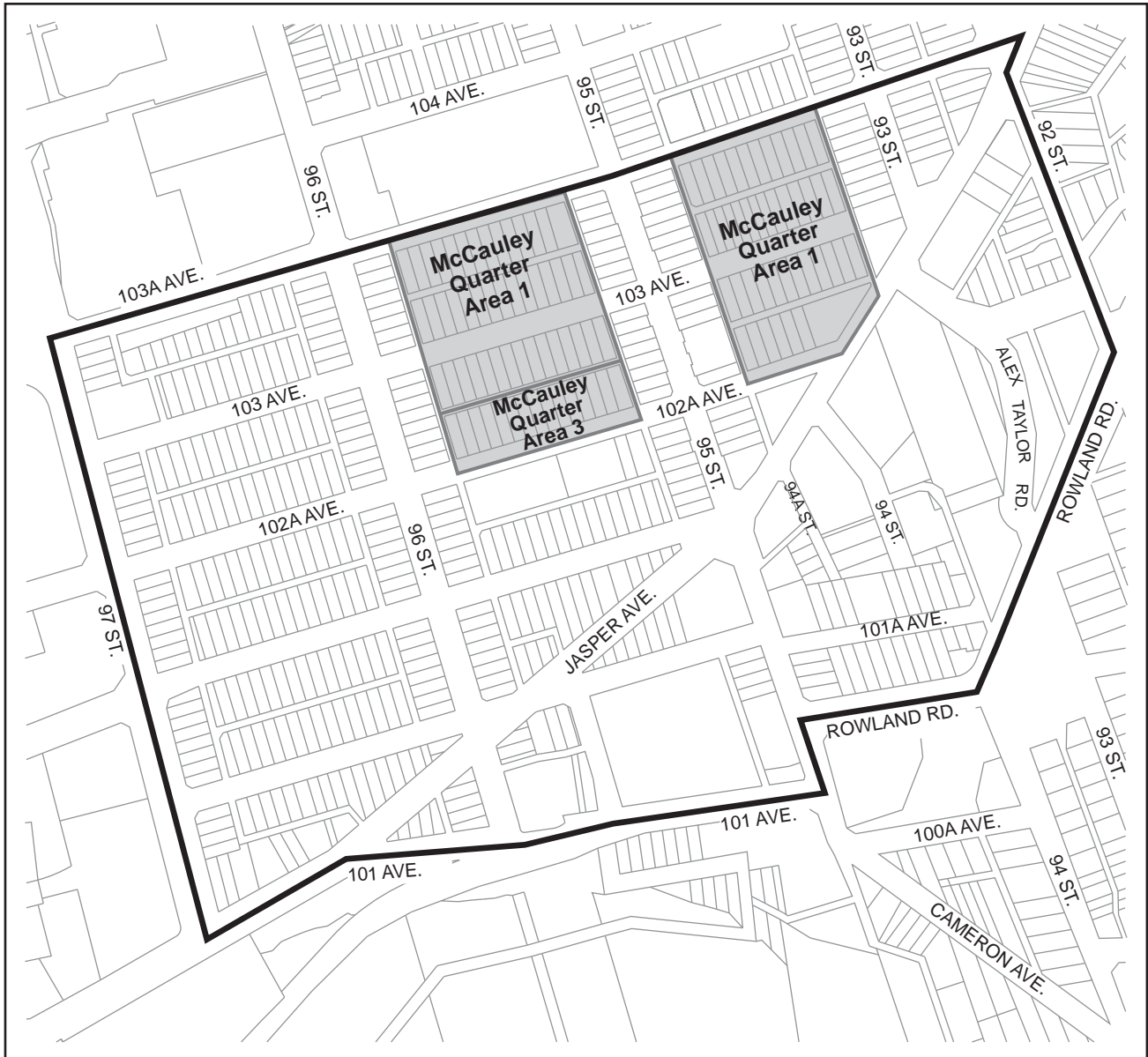
5. Urban Design Regulations

- a. Site Planning shall be in accordance with The Quarters Downtown Urban Design Plan and Section 860 of the Zoning Bylaw.
- b. Setbacks
 - i. A minimum 3.0 m setback shall be required from the front property line abutting the Avenue road right-of-way.
 - ii. A minimum 7.5m setback shall be required from the rear lot line for the principle structure and a 2.75m setback shall be required from the rear lot line for a detached garage.
 - iii. A minimum 1.2 m to 3.0 m setback shall be required from side lot lines including those abutting a laneway based on the following:
 - A. For Sites 370m² or less, the minimum Setback shall be 1.2 m from the side lot line;
 - B. For Sites greater than 370m² and less than 740 m², the minimum Setback shall be 2.1 m from the side lot line; and
 - C. For Sites greater than 740 m², the minimum Setback shall be 3.0 m from the side lot line.
 - iv. Additional Building Setbacks shall be provided to address sight lines at roadway intersections to the satisfaction of the Development Officer in consultation with Transportation Planning and Engineering.
 - v. Where the ground floor of any development is designed for Residential or Residential Related Uses, the front setback area shall contain a combination of hard and soft landscaping.
 - vi. Where the ground floor of any development is designed for Residential or Residential Related Uses and is setback from the property line, the Development Officer may allow one Storey features, such as bay windows, front porches, and staircases to project from the Building wall to the property line, provided the area where the feature is projecting is landscaped.
- c. Stepbacks
 - i. In Area 1, no Building Stepbacks are required.
 - ii. In Area 3, a minimum 3.0m Stepback shall be required for Buildings adjacent to an east/west laneway above approximately 7.0 m of Building Height.

- iii. In Area 3, a minimum 3.0 m Stepback shall be required adjacent to the Avenue above approximately 7.0 m of Building height. No Building Stepbacks are required from any lot lines internal to a block in Area 3.
- iv. At the discretion of the Development Officer, Stepbacks may be required from lot lines internal to a block having regard to the character of the surrounding built form, the objectives of The Quarters Downtown Urban Design Plan and Crime Prevention Through Environmental Design principles.
- v. Fences along the primary frontage shall not exceed 1.2 m.
- vi. Parking areas shall be developed in accordance with Section 860 of the Zoning Bylaw.
- vii. Building Entrances shall be developed in accordance with Section 860 of the Zoning Bylaw.
- viii. Weather Protection shall be developed in accordance with Section 860 of the Zoning Bylaw.
- ix. Built forms shall be developed in accordance with Section 860 of the Zoning Bylaw.



McCauley Quarter Areas 1 & 3



SCHEDULE “H”**(DC1) DIRECT DEVELOPMENT CONTROL PROVISION
(AQ) THE ARMATURE AREAS 1, 2 and 3****1. General Purpose**

The purpose of this Provision is to accommodate mid- and high-rise mixed-use (but predominately residential) development with active retail and residential street frontages that is pedestrian friendly and compatible in scale, function, built form and design with surrounding developments and open space and/or accessible public assembly space for passive and active use, all in accordance with Section 860 of the Zoning Bylaw, The Quarters Downtown Area Redevelopment Plan and The Quarters Downtown Urban Design Plan.

2. Area of Application

The Armature encompasses lands bounded to the west by the north-south laneway west of 96 Street, to the north by 103A Avenue, to the east by the north south laneway east of 96 Street and to the south by 101A Avenue and Jasper Avenue. Within the Armature there are three development areas as indicated in Appendix 1.

- Area 1 includes lands bounded to the north by 102 Avenue, to the west by 96 Street, Jasper Avenue to the south and to the east by the north-south alley.
- Area 2 includes lands bounded to the north by 102A Avenue, to the west by 96 Street, 102 Avenue to the south and to the east by the north-south alley.
- Area 3 includes all Armature lands excluding Areas 1 and 2.

3. Uses

- a. Apartment Housing
- b. Apartment Hotels
- c. Bars and Neighbourhood Pubs
- d. Business Support Services
- e. Child Care Services
- f. Commercial Schools
- g. Community Recreation Services
- h. Convenience Retail Stores
- i. Custom Manufacturing Establishments
- j. Equipment Rentals
- k. General Retail Stores
- l. Health Services

- m. Hotels
- n. Household Repair Services
- o. Indoor Participant Recreation Services
- p. Limited Group Homes
- q. Live-Work Unit
- r. Lodging Houses
- s. Minor Alcohol Sales
- t. Minor Amusement Establishment
- u. Minor Home Based Business
- v. Personal Service Shops
- w. Professional, Financial and Office Support Services
- x. Public Libraries and Cultural Events
- y. Public Park
- z. Residential Sales Centres
- aa. Restaurants
- bb. Specialty Food Services
- cc. Stacked Row Housing including Row Housing but excluding Semi-detached and Duplex Housing
- dd. Urban Gardens
- ee. Urban Outdoor Farms
- ff. Veterinary Services
- gg. Fascia On-premises Signs
- hh. Projecting On-premises Signs
- ii. Temporary On-premises Signs

4. Development Regulations

- a. The minimum Building Height shall be not be less than 11.0m nor 3 storeys.
- b. The maximum Building Height within Area 1 shall not exceed 52.0m, nor 12 storeys, subject to Section 860 of the Zoning Bylaw.
- c. The maximum Building Height within Area 2 shall not exceed 40.0m nor 9 storeys subject to Section 860 of the Zoning Bylaw.
- d. The maximum Building Height within Area 3 shall not exceed 23.0m, nor 6 storeys, subject to Section 860 of the Zoning Bylaw.

- e. The minimum Floor Area Ratio shall be 3.0 subject to Section 860 of the Zoning Bylaw.
- f. The Maximum Floor Area Ratio within Area 1 shall be 8.75 subject to Section 860 of the Zoning Bylaw.
- g. The Maximum Floor Area Ratio within Area 2 shall be 6.5 subject to Section 860 of the Zoning Bylaw.
- h. The Maximum Floor Area Ratio within Area 3 shall be 4.5 subject to Section 860 of the Zoning Bylaw.

General Provisions

- a. Bars and Neighbourhood Pubs shall not exceed a capacity of 200 occupants or 240m² of Public Space.
- b. Lodging Houses shall not isolate an adjacent site within this Zone of less than 800m².
- c. Equipment Rentals shall be fully enclosed within a building.
- d. General Retail Stores shall not exceed a capacity of 750m² of Gross Floor Area.
- e. Minor Amusement Establishments shall only be permitted as an accessory use to a Restaurant.
- f. Restaurants shall not exceed a capacity of 200 occupants or 240m² of Public Space.
- g. Specialty Food Services shall not exceed a capacity of 150 occupants or 75m² of Public Space.
- h. Stacked Row Housing and Row Housing shall not isolate another site within this Zone of less than 800m².
- i. Temporary On-premises Signs shall be limited to project advertising and residential sale purposes only. Trailer mounted signs and/or signs with changeable copy shall not be permitted.
- j. The first floor of any frontage, including the associated entranceway, shall have a maximum grade separation of 1.2m from any abutting public sidewalk.
- k. Notwithstanding the Incentive System provided for in Section 860 of the Zoning Bylaw, prior to the issuance of a Development Permit for any base level development, the Development Officer shall ensure that a signed agreement has been executed between the City and the Owner requiring the Owner to provide the City at the time of Development Permit approval, the option to purchase 5% of the proposed number of residential units at 85% of the list price, or to provide

the equivalent value as cash-in-lieu to the City, or as prescribed in any future City of Edmonton Affordable Housing Policy initiatives as prescribed by City Council. C582.

Except:

Within Area 1, the Development Officer shall ensure that a signed agreement has been executed between the City and the Owner requiring a cash-in-lieu contribution equivalent to 0.75% of the construction value of the entire facility.

- l. Within Area 1 and 2, the applicant and/or owner shall provide proof satisfactory to the Development Officer in consultation with Alberta Environment, Albert Health, and the City of Edmonton Transportation Planning and Engineering that, if necessary, the land has been remediated to allow for the intended uses, excepting the parkade excavation Building Permit. The Development Planning Officer shall not physically release the Development Permit for the purposes of a Building Permit until this condition has been adequately satisfied through sign-off letters from the reviewing agencies.
- m. Within Area 1, an update Transportation Impact Assessment shall be provided prior to the issuance of any Development Permit. The issuance of any Development Permit for the site is subject to there being sufficient capacity on the adjacent roadway network, as well as adequate access via the adjacent alley to accommodate the traffic associated with the development, and shall be to the satisfaction of the Development Officer and Transportation Planning and Engineering.
- n. Within Area 3, Residential and Residential Related Uses shall occupy no less than 33.3% of the Floor Area in new Buildings.
- o. Parking shall be provided in accordance with Section 860 of the Zoning Bylaw.
- p. Signage shall be provided in accordance with Section 860 of the Zoning Bylaw.
- q. Urban Outdoor Farms shall comply with Section 98 of the Zoning Bylaw.
- r. Urban Gardens shall comply with Section 98 of the Zoning Bylaw.

5. Urban Design Regulations

- a. Site Planning shall be in accordance with the Quarters Downtown Urban Design Plan.
- b. Setbacks:
 - i. East of 96 Street, no building Setbacks are required.
 - ii. West of 96 Street, no Setbacks are required except a minimum 1.0m Setback may be required for each Storey of building height from the rear laneway property line.

c. Stepbacks:

- i. No Stepbacks are required for buildings adjacent to Avenues.
- ii. For buildings adjacent to the east side of 96 Street within Area 3, a minimum 3.0m Stepback shall be provided at approximately 7.0m OR 11.0m building height.
- iii. For buildings adjacent to the west side of 96 Street, two Stepbacks, a minimum 3.0m each shall be provided at approximately 7.0m and 14.0m of building height.
- iv. For buildings adjacent to the laneway west side of 96 Street, a Stepback may be required at approximately 11.0m of building height.
- v. At the discretion of the Development Officer, Stepbacks may be required adjacent to lot lines internal to a block having regard to the character of the surrounding built form, the objectives of the Quarters Downtown Urban Design Plan and Crime Prevention Through Environmental Design principles.
- vi. Building entrances shall be developed in accordance with Section 860 of the Zoning Bylaw.
- vii. Weather protection shall be provided in accordance with Section 860 of the Zoning Bylaw.
- viii. Architectural control shall be in accordance with Section 860 of the Zoning Bylaw.



The Armature

