

123 Ave NW

RF4

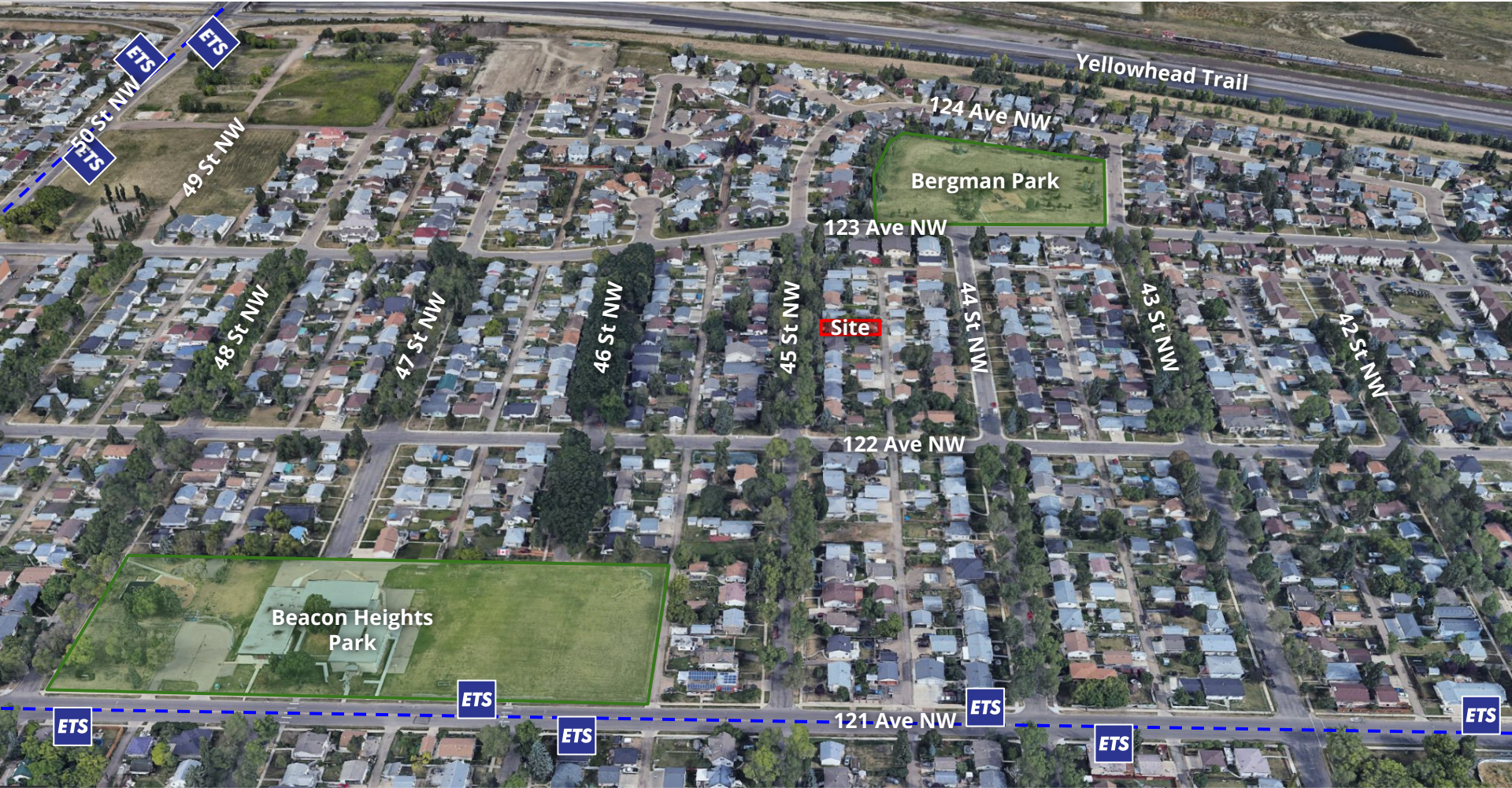
AGU

AGU to RF1

AGU



SITE CONTEXT



Comments (1)

Generally supportive of the rezoning.

Concerns included:

- Garden suites and secondary suites are too high density
- Increased on-street parking use and traffic



CITY WEBPAGE
May 5, 2023



ADVANCED NOTICE
May 10, 2023



SITE SIGNAGE
Aug 2, 2023



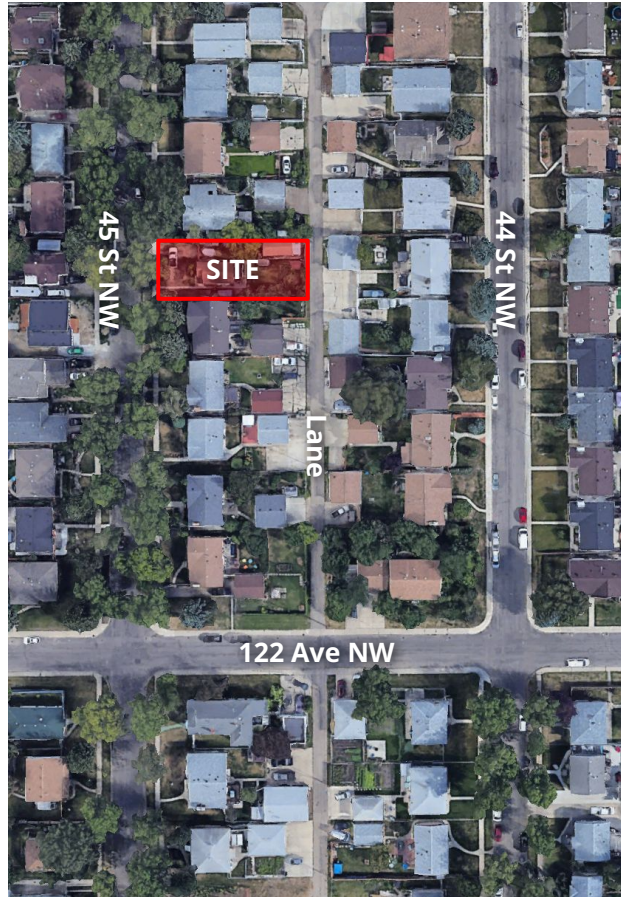
PUBLIC HEARING
NOTICE
Sept 7, 2023



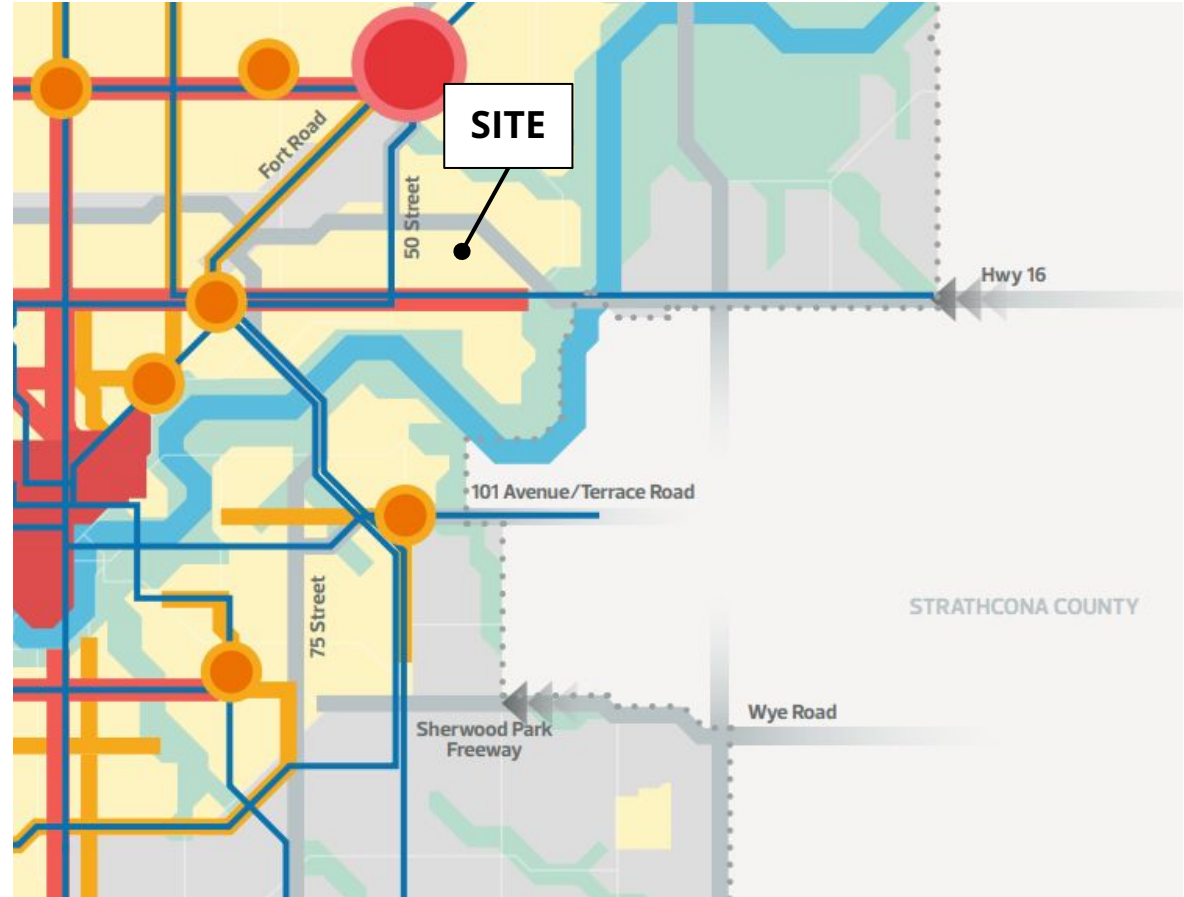
JOURNAL AD
Sept 15 and Sept
23, 2023

PROPOSED ZONING

REGULATION	AGU Current	RF1 Proposed
Principal Uses	Rural farms Single detached housing	Single detached housing Duplex housing Semi-detached housing
Max. Height	10.0 m	8.9 m
Max. Site Coverage	n/a	40%
Min. Setbacks Front Interior Sides Rear	7.5 m 7.5 m 7.5 m	4.5 - 7.5 m 1.2 m 15.1 m
Max. No. Principal Dwellings	One (1) principal dwelling	Two (2) principal dwellings



SITE VIEW



THE CITY PLAN

123 Ave NW

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AGU to RF1

AGU

AGU

ADMINISTRATION'S RECOMMENDATION: **APPROVAL**