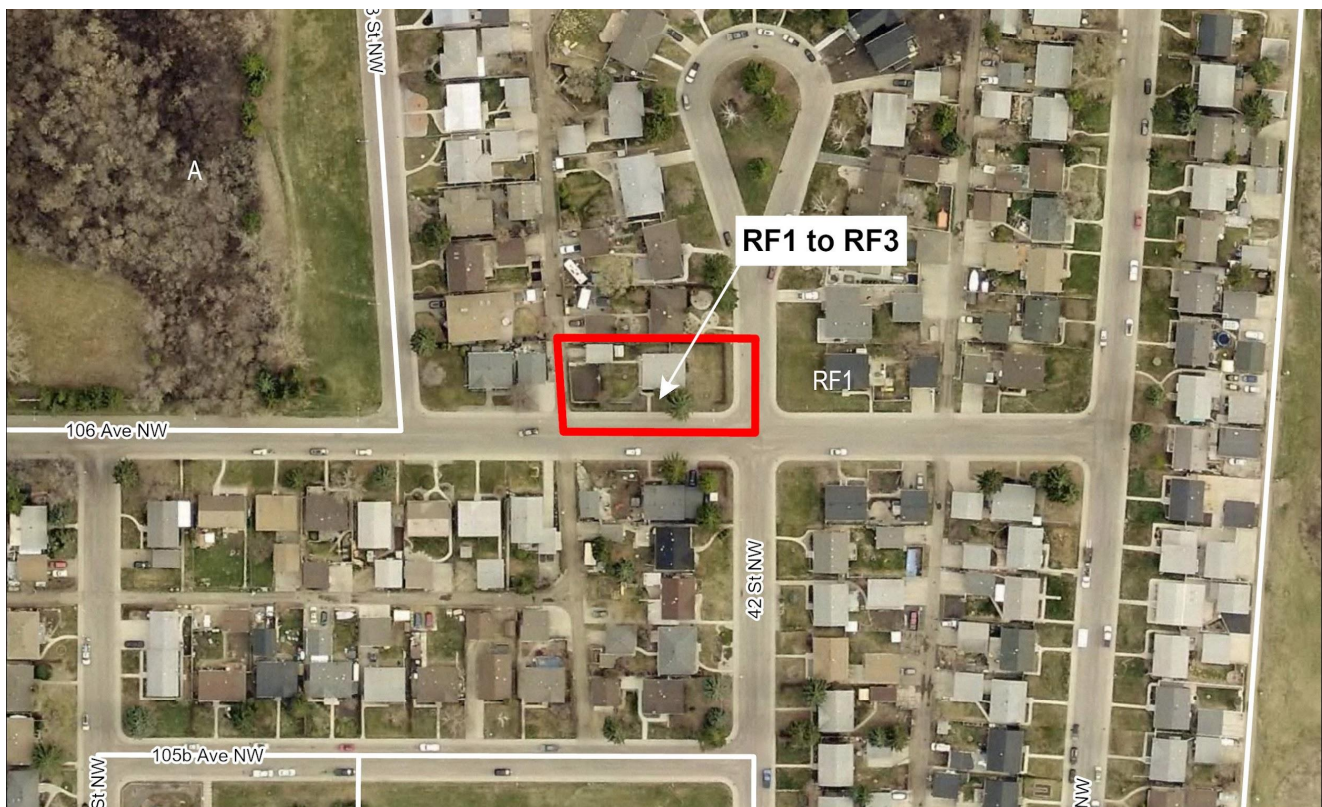


4204 - 106 AVENUE NW

Position of Administration: Support



Summary

Charter Bylaw 20606 proposes a rezoning from the (RF1) Single Detached Residential Zone to the (RF3) Small Scale Infill Development Zone to allow for a mix of small scale housing.

Public engagement for this application included a mailed notice, site signage and information on the City's webpage.

Administration supports this application because it:

- Creates a more diverse mix of housing types in the Gold Bar neighbourhood.
- Conforms with The City Plan's big city move 'rebuildable city' target to 50% of net new units through infill development city-wide.

- Increases density in a location where small scale multi-unit housing is an appropriate form of development.

Application Details

This application was submitted by Aurora de Leon on behalf of Winnie and Daniel Salubmre.

The proposed (RF3) Small Scale Infill Development Zone would allow development with the following key characteristics:

- Multi-unit Housing (up to 4 principal dwellings) with opportunities for garden and secondary suites.
- Maximum Height of 8.9 metres.
- Maximum site coverage 45%.

Site and Surrounding Area

	Existing Zoning	Current Development
Subject Site	(RF1) Single Detached Residential Zone	Single Detached House
North	(RF1) Single Detached Residential Zone	Single Detached House
East	(RF1) Single Detached Residential Zone	Single Detached House
South	(RF1) Single Detached Residential Zone	Single Detached House
West	(RF1) Single Detached Residential Zone	Single Detached House



View of the site looking North from 106 Avenue NW



View of the site looking west from 42 Street NW

Community Insights

This application was brought forward to the public using a basic approach. This approach was selected because the application proposes to rezone to a standard zone of the same category in the Zoning Bylaw (RF1 to RF3). The basic approach included:

Mailed Notice, July 18, 2023

- Notification radius: 60 metres
- Recipients: 31
- Responses: 7
 - In support: 0
 - In opposition: 4
 - Mixed/Questions only: 3

Site Signage, July 25, 2023

- One rezoning information sign was placed on the property facing the intersection of 106 Avenue NW and 42 Street NW.

Webpage

- edmonton.ca/rezoningapplications

Notified Community Organizations

- Gold Bar Community League
- South East Community Leagues Association Area Council

Common comments heard:

- Concerns for increases in parking and noise.
- Do not want this change to occur in the neighbourhood.
- Concerns about the height and having multi-unit housing.
- Drainage in the neighborhood already has issues and is not sufficient to support the redevelopment of this site.
- Rezoning should not be allowed.

No formal position was received from the Gold Bar Community League or the South East Community Leagues Association Area Council at the time this report was written.

Application Analysis



Site analysis context

The City Plan

The proposed rezoning aligns with The City Plan as it supports ongoing residential infill in a redeveloping area and provides additional housing variety. The proposal will contribute to the diversification of housing types in the Gold Bar neighbourhood. The proposal leads to both incremental infill and strategic intensification and adheres to The City Plan target of adding 50% of new residential dwellings through infill city-wide.

Land Use Compatibility

Small-scale multi-unit housing is compatible with the existing surrounding single detached housing, and is appropriate for a corner site. It provides an incremental increase in density for the Gold Bar neighbourhood.

The RF3 Zone regulations, in tandem with the Mature Neighbourhood Overlay (MNO) regulations, are similar to the current RF1 Zoning. Height and rear setbacks are unchanged between the RF1 and RF3 Zones. Key differences include the number of permitted units, site coverage and side setbacks. The interior side setback provides increased separation distance allowing redevelopment to be sensitive to the abutting single detached house. The maximum site coverage is increased; however, height and setback requirements minimize impacts to the adjacent properties. The site's location on a corner lot, along with the regulatory requirements of the Zoning Bylaw, provides appropriate transitions to the surrounding context. A comparison of the RF1 and RF3 zones with the MNO is available below.

	RF1 Current	RF3 Proposed
Typical Uses	Single Detached Housing Semi-Detached Housing Duplex Housing	Multi-unit Housing
Maximum Height	8.9 m	8.9 m
Front Setback Range 42 Street NW	8.0 m - 10.9 m	6.4 m - 7.0 m
Minimum Interior Side Setback	1.2 m	3.0 m
Minimum Flanking Side Setback 106 Avenue NW	1.2 m	2.0 m
Minimum Rear Setback (Lane)	16.0 m	16.0 m
Maximum Site Coverage	40% ¹	45%
Maximum Number of Principal Dwellings	Two (2) ²	Four (4) ³

¹ A maximum site coverage of 40% would be applicable to each subdivided lot

² Lot subdivision would be required to accommodate two single detached principal structures/dwellings under RF1. Semi-detached could be built without subdividing under RF1. Each principal dwelling could have a secondary suite and/or garden suite.

³ Secondary suites and garden suites are allowed with each existing principal dwelling, the likelihood of these suites diminishes as the number of principal dwellings increase.

Mobility

This rezoning is anticipated to have minimal impact on the transportation network. 106 Avenue is a future neighborhood bicycle route, which will connect to a future district connector to the west.

ETS operates bus routes nearby on 44 Street NW, 106 Avenue NW and 50 Street NW. The site is within 400 metres walking distance to bus stops near the intersection of 106 Avenue NW and 46 Street NW. A mass transit bus route is anticipated to operate nearby on 50 Street NW and 106 Avenue NW (west of 50 Street NW) as part of the future mass transit network associated with the 1.25 million population scenario of The City Plan.

Utilities

Sanitary and storm service connections are available to the site. The proposed zoning change will not significantly impact the sewer and drainage systems in the area. A storm service and/or Low Impact Development (LID) will be required with redevelopment.

Edmonton Fire Rescue Services has performed a risk-based Infill Fire Protection Assessment and determined that the site is functionally compliant with the municipal standards; therefore, no upgrades are required. This could potentially be re-evaluated at the development permit stage.

The applicant/owner will be responsible for all costs associated with providing City standards for water supply including any changes to the existing water infrastructure required by this application.

Written By: Eli Smith

Approved By: Tim Ford

Branch: Development Services

Section: Planning Coordination