

3861 - 91 Street SW

Position of Administration: Support



Summary

Charter Bylaw 20618 proposes a rezoning from the (AG) Agriculture Zone and (RMD) Residential Mixed Dwelling Zone to the (RLD) Residential Low Density to allow for a range of low density ground-oriented housing.

Public engagement for this application included a mailed notice and information on the City's webpage. No responses were received.

Administration supports this application because it:

- It facilitates planned urban development and completion of the neighbourhood.
- It is compatible with existing and surrounding planned land uses.
- Is in conformance with the The Orchards at Ellerslie Neighbourhood Structure Plan.
- Aligns with the goals and politics of The City Plan to accommodate all future growth for an additional one million people within Edmonton's existing boundaries.

Application Details

This application was submitted by Scheffer Andrew Ltd. on behalf of Brookfield Residential LP.

Rezoning

The proposed (RLD) Residential Low Density would allow development with the following key characteristics:

- A range of ground-oriented housing forms, including single detached, semi-detached, and duplex housing.
- Maximum height of 10.0 metres.
- Maximum site coverage between 50-58 percent.

Site and Surrounding Area

	Existing Zoning	Current Development
Subject Site	(AG) Agriculture Zone (RMD) Residential Mixed Dwelling Zone	Undeveloped agricultural land
North	(RLD) Residential Low Density Zone	Undeveloped agricultural land
East	(RLD) Residential Low Density Zone (AG) Agriculture Zone	Undeveloped agricultural land
South	(AG) Agriculture Zone	Undeveloped agricultural land
West	(RLD) Residential Low Density Zone (RMD) Residential Mixed Dwelling Zone	Undeveloped agricultural land



View of the site from the north east.

Community Insights

This application was brought forward to the public using a basic approach. This approach was selected because little response was received from the mailed notice, and aligns with the land use concept of the associated statutory plans. The basic approach included:

Mailed Notice, August 1, 2023

- Notification radius: 120 metres
- Recipients: 21
- Responses: 0

Webpage

- edmonton.ca/rezoningapplications

Notified Community Organizations

- The Horizon Community League.

Application Analysis



Site analysis context

The City Plan

The subject site is located in a developing area and is expected to contribute to Edmonton's population growth from 1 to 1.25 million. This proposal aligns with the goals and policies of The City Plan to accommodate all future growth for an additional 1 million people within Edmonton's existing boundaries.

The Orchards at Ellerslie Neighbourhood Structure Plan (NSP)

This site is located within an area designated as Low Density Residential within The Orchards at Ellerslie Neighbourhood Structure Plan. In the NSP, Low Density Residential is intended to allow for a variety of housing types including single detached, semi-detached and duplex housing, which the (RLD) Residential Low Density Zone facilitates. Furthermore, this zone will contribute to the incremental development of the neighbourhood and conforms with the intent of the NSP.

Land Use Compatibility

The proposed (RLD) Residential Low Density Zone is compatible with existing surrounding planned land uses. The RLD zone facilitates a mix of ground-oriented housing types with flexibility of lot sizes and widths, which allows for more efficient use of land.

Mobility

The proposed rezoning conforms with the transportation and land use plans in The Orchards at Ellerslie Neighbourhood Structure Plan. The owner will be required to construct shared pathways and walkway connections located within the PU lot to the west and the AP lot to the east. This will provide active mode connectivity within this neighbourhood and access to the greater active mode network.

ETS operates bus service on Orchards Boulevard SW and Orchards Drive SW. The site is approximately 600 metres walking distance to the nearest bus stops. No transit improvements are required with this application. Future bus service in the area will change as the neighbourhood and surrounding areas build out.

Utilities

The proposed rezoning area conforms to The Orchards at Ellerslie Neighbourhood Design Report (NDR), which identifies sanitary and stormwater servicing plans for the neighbourhood. Sewer services are available by extension of mains, connecting to the existing system located within Hawthorn Run. These existing systems have been designed and constructed to accommodate development under the proposed rezoning.

The applicant/owner will be responsible for all costs associated with infrastructure improvements required by this application.

Appendices

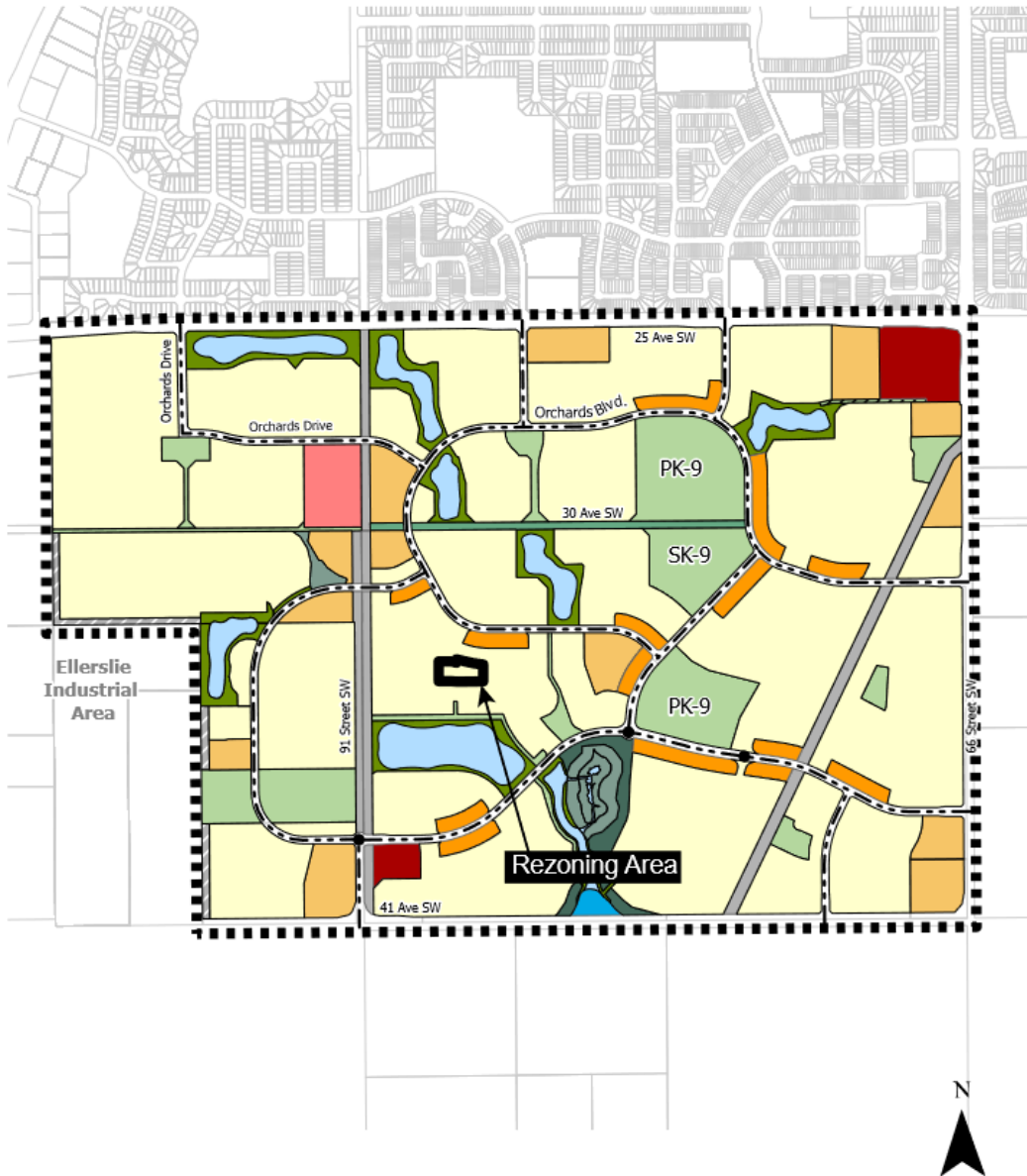
1. Context Plan Map

Written By: Andrew Sherstone

Approved By: Tim Ford

Branch: Development Services

Section: Planning Coordination



BYLAW 20485
THE ORCHARDS AT ELLERSLIE
 Neighbourhood Structure Plan

Low Density Residential	Utility / Pipeline Corridor	Open Space (30 Ave.)
Street Oriented Residential	Greenway (PUL)	Transition Area
Medium Density Residential	School / Park / Greenway	Roundabout
Commercial	Natural Area (ER)	Collector Roadway
Residents Association	Natural Area (MR)	NSP Boundary
Stormwater Management Facility	SWMF - Provincial (Crown) Land	

Note: Location of collector roads and configuration of stormwater management facilities are subject to minor revisions during subdivision and rezoning of the neighbourhood and may not be developed exactly as illustrated.