

9511 - 109 Avenue NW and the land generally bounded by the alley east of 92 Street NW, the alley east of 97 Street NW, 107A Avenue NW and 110A Avenue NW.

Position of Administration: Support



Summary

Bylaw 20974 proposes a rezoning from a Direct Control Zone (DC1.17665) to a site specific Direct Control Zone for 9511 - 109 Avenue NW and a new Direct Control Zone for the remainder of the rezoning area (referred to as the 'administrative update DC' throughout the remainder of this document). The new site specific DC Zone would allow for an office and warehouse to support the operation of the Italian Centre, and the administrative update DC Zone is nearly the same as the current one, but updated to be consistent with the new Zoning Bylaw 20001.

The proposed administrative update DC Zone updates the language and regulations in the zone to be consistent with Zoning Bylaw 20001. Given that the development rights are not changing, within Bylaw 20974 administration is proposing to waive the Pre-Application Notification requirement and the Signage requirement for the broader administrative update DC:

- In order to fully satisfy the Zoning Bylaw requirements for signage, approximately 18 signs would have been needed so as to have signage visible from every street and avenue adjacent to land being rezoned. Bylaw 20974 contains wording to allow Council to approve this alternate method of not providing signage for the broader administrative DC update.
- In order to fully satisfy the Zoning Bylaw requirements for pre-notification, notices would have needed to be sent to all properties within the current DC1.17665 area, and within 60 m of the area. Bylaw 20974 contains wording to allow Council to approve this alternate method of not providing pre-notification for the broader administrative DC update area.

The City of Edmonton notices (the initial mailed notice, and the public hearing notice) met the Zoning bylaw requirements for both the administrative update DC, and the site specific warehouse/office DC. The proposed site specific DC Zone for the office/warehouse has met all of the notification requirements as set out in the Zoning Bylaw.

Public engagement for this application included a pre-application notice (from the applicant), a mailed notice, site signage, and information on the City's webpage. Approximately 10 people were heard from, with 2 in support, 6 in opposition, 1 mixed, and 1 with questions only. Most concerns were related to a warehouse use at this location, the size, and the associated impacts (noise, traffic, increased on-street parking use, and pollution).

Administration supports this application because:

- A Direct Control Zone (DC) has been utilized to ensure that the proposed warehouse/office is separated from the abutting residential property, integrates well with the street, and will not create a nuisance.
- The scale of the proposed development is compatible with the existing surrounding development.
- The proposed warehouse/office use supports the operation of the adjacent Italian Centre business which contributes to the vibrancy of the 95 Street secondary corridor as envisioned in The City Plan, and the Central District Plan.

Application Details

This application was submitted by B&A on behalf of the Italian Centre. The proposed site specific Direct Control Zone (DC) for 9511 - 109 Avenue NW would allow development with the following key characteristics:

- Warehouse and office uses to support the operation of the Italian Centre's adjacent business.

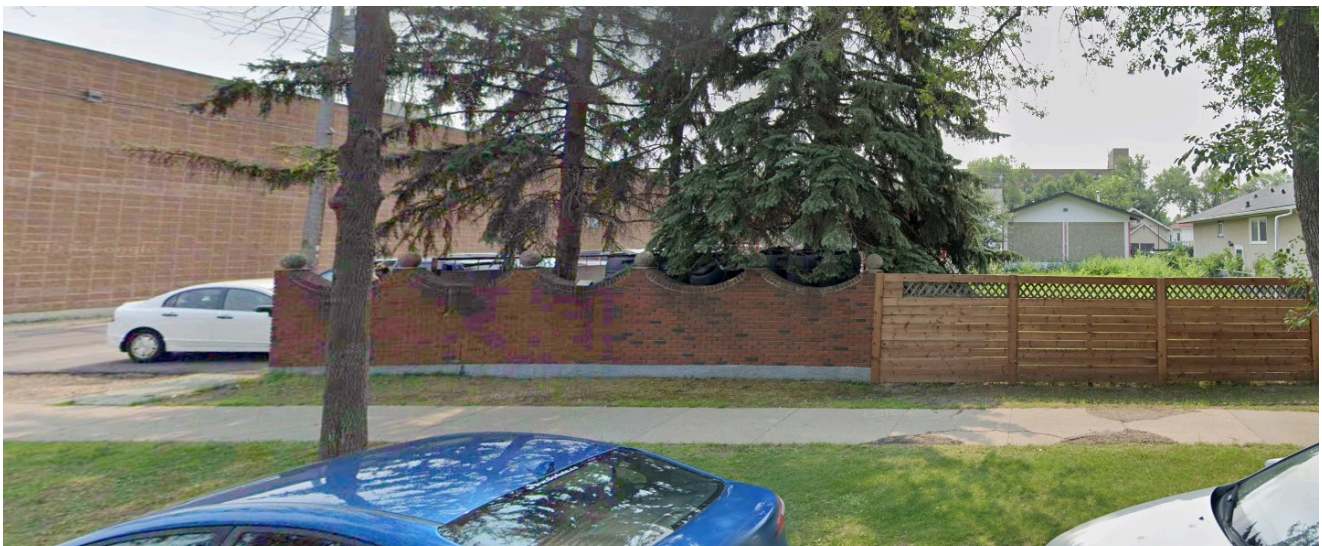
- A maximum height of 12.0 metres.
- A maximum floor area ratio of 1.6.

The administrative update DC Zone would continue to allow for limited small scale housing opportunities.

The remainder of this report will focus only on the site specific DC Zone for 9511 - 109 Avenue NW with the exception of the 'Community Insights' section.

Site and Surrounding Area

	Existing Zoning	Current Development
Subject Site	Direct Control Zone (DC1.17665)	Rear detached garages
North	Direct Control Zone (DC1.17665)	Single detached housing
East	Mixed Use (MU h16.0 f3.5 cf)	Commercial (Italian Centre)
South	Direct Control Zone (DC2.421)	Existing warehouse (Italian Centre)
West	Direct Control Zone (DC1.17665)	Single detached housing



View of the site looking south from 109 Avenue NW



View of the site looking west from the north-south alley

Community Insights

This application was brought forward to the public using a basic approach. This approach was selected because few responses were received to the pre-application notice. The basic approach included:

Pre-Application Notice (from applicant), May 22, 2024

- Notification radius: 60 metres
- Number of recipients: 78
- Number of responses (as reported by the applicant): 1 (in opposition)
- Main concerns received (as reported by the applicant):
 - Traffic and noise concerns from the warehouse use.
 - Privacy implications due to the proposed height.
 - Visual impact of a warehouse.
 - Impact to surrounding property values.

Mailed Notice, July 19, 2024

- Notification radius: 60 metres
- Recipients: 1764
- Responses: 10
 - In support: 2

- In opposition: 6
- Mixed: 1
- Questions only: 1

Site Signage, July 22, 2024

- One rezoning information sign was placed on the property so as to be visible from 109 Avenue NW.

Webpage

- edmonton.ca/rezoningapplications

Notified Community Organizations

- McCauley Community League
- Chinatown and Area Business Improvement Area (BIA)

No formal position was received from the community league or BIA.

Common comments heard

Support:

- The Italian Centre is instrumental to, and supports the community and Edmonton as a whole (2).

Opposition:

- Increased traffic, on-street parking use, noise, and pollution associated with the warehouse use (3).
- Warehousing and other commercial uses are replacing residential properties/areas which are much needed in the area (2).
- Other locations would be more appropriate (2).
- The Italian Centre said that they would not build more warehousing in the area (2).
- The proposed building is too tall (2).
- Visual impact/aesthetic concerns about the warehouse.
- Italian Centre bring vibrancy to the area, but a warehouse is not in the best interest of the neighbourhood.
- Overlook/privacy and shadowing concerns for surrounding properties.
- Would be more likely to support if commercial and residential was included in the design, or if other Italian Centre warehouses in the area were converted to residential/commercial uses.

Mixed:

- The Italian Centre is an important business in the community. Some residents want to support them, but also do not want to see additional warehousing.

Comments Specific to the Administrative Update DC Zone:

- Updating the existing DC1.17665 makes sense; however, the Community Service and Supportive Housing uses should be removed from the proposed DC. McCauley has 90% of all shelter beds in Edmonton, more than double the targeted 18% affordable housing units, and has the highest number of social service agencies in a neighbourhood in Edmonton. These uses are not appropriate in the residential heart of an already saturated neighbourhood (2).
- The administrative update DC Zone bylaw should be separate from the site specific DC Zone bylaw so that they can be considered independently of one another by the City Council.

Through one-on-one communication with residents, Administration clarified why the site specific DC Zone proposed for 9511 - 109 Avenue NW also required a broader administrative update DC Zone.

In response to concerns that the two proposed bylaws should be separate so that they can be considered by City Council independently, Administration clarified that two zones cannot apply to the same property, and in order to remove 9511 - 109 Avenue NW from the existing DC1.17665 Zone, they must be considered together as one bylaw.

Administration also clarified that the warehousing use was only being proposed for the site specific DC Zone, not for the broader administrative update DC Zone.

In response to concerns about the inclusion of the community service use and the supportive housing use in the administrative update DC Zone, Administration clarified that the existing DC Zone allows for these uses and that the proposed uses are the equivalents in the current Zoning Bylaw 20001, but also recognized that the community service use allows for additional activities not permitted in the existing DC1.17665. The community service use has been limited to religious assemblies in alignment with the existing zone.

Application Analysis

The City Plan

This application supports the Big City Move, a 'Community of Communities' where people can access services, amenities, and employment within a 15-minute walk, cycle, or roll of their home. The office/warehouse supports the daily operations of the Italian Centre location, which contributes to the vibrancy of the 95 Street Secondary Corridor.

Central District Plan

Within the Central District Plan, the site specific DC Zone for 9511 - 109 Avenue NW is within the 95 Street Secondary Corridor (Map 3: Nodes and Corridors). Secondary Corridors are areas along prominent residential and commercial streets that serve as a local destination for surrounding

neighbourhoods, connect to nodes, feature diverse travel modes, and may evolve as more residential or commercial over time.

Low rise development (up to 16.0 m in height or approx. 4 storeys) is supported throughout Secondary Corridors. The proposed warehouse is smaller in scale (up to 12.0 m in height), recognizing that the impacts from a warehouse are different than those of a standard low-rise residential, commercial, or mixed-use development.

Land Use Compatibility



Site analysis context

The site is approximately 1,006 square metres in area with vehicular access from the alley. The site is adjacent to the Italian Centre and an existing warehouse, and is in close proximity to bus service on 95 Street NW and 97 Street NW, as well as bike routes on 108a Avenue NW and 96 Street NW (see 'Mobility' section for more information).

A DC Zone is being utilized to ensure that the proposed warehouse use is integrated in a way that is compatible with the existing surrounding development, and to mitigate land use conflicts with neighbouring sites. A summary of key regulations follows:

- **Uses:** The DC limits the minor industrial use to only warehousing, and requires that all warehousing and storage must be located within an enclosed building.
- **Scale:** The maximum height of 12.0 m, maximum floor area ratio of 1.6, and minimum setbacks allow for a building that is appropriate in scale with the existing surrounding development.

- Separation: In addition to the minimum setback (2.8 m) from the abutting residential property, a landscaped buffer is required to provide additional visual separation.

Vehicular access must be from an alley, and warehouse doors may only be located on the side of the building facing the Italian Centre (east facade) to separate warehousing activities from the abutting residential property.

Parking and loading must be screened from 109 Avenue NW and the abutting residential site using landscaping, fencing or other similar measures to provide visual separation.

- Massing: All facades must be articulated using two or more design techniques such as using a combination of finishing materials, variations in rooflines, etc., to minimize the perception of massing, eliminate large blank walls, and provide visual interest.

- Interaction with 109 Avenue NW: A prominent main entrance and office use must be oriented toward 109 Avenue NW to promote interaction with the street.

The appearance of the ground floor facade facing 109 Avenue NW must be broken up into sections of 11.0 m or less using the design techniques.

35% of the facade area (facing 109 Avenue) between 1.0 m - 6.5 m above ground level must be windows to promote pedestrian interaction and safety. 90% of the windows facing 109 Avenue NW must be clear, untinted and free from obstruction.

The facade design and materials must wrap around the sides of the building (a minimum of 8.0 m) to provide a consistent profile for building corners facing streets and alleys. Facades facing an alley do not require windows after 8.0 m.

- Nuisance: No development or use on the site may create nuisance.

The scale of the proposed warehouse/office is compatible in scale with the existing surrounding development, and incorporates regulations to ensure that possible land use conflicts are mitigated.

A comparison between the current and proposed zone is provided in the table below:

	DC1.17665 Current	DC Proposed
Typical Uses	Small scale residential	Warehouse and office
Maximum Height	10.0 m	12.0 m
Maximum Floor Area Ratio/Site Coverage	40% (single detached housing) 50% (semi-detached and duplex housing)	1.6
Minimum Front Setback (109 Ave NW)	4.5 m	3.5 m
Minimum Side Setback (East and West)	East (alley): 1.2 m West (abutting site): 1.2 m	East (alley): 5.5 m West (abutting site): 2.8 m
Minimum Rear Setback (South Alley)	5.0 m - 7.5 m	0.0 m



3D Model

Mobility

The rezoning area is located near an existing neighbourhood bike route along 108a Avenue NW and a district connector bike route along 96 Street NW, both of which are currently being improved with the McCauley Neighbourhood Renewal. Upon redevelopment, vehicular access will be restricted to the abutting alley east of the site. This rezoning is anticipated to have minimal impact on the transportation network.

ETS operates numerous bus routes near the rezoning site on 95 Street NW, 97 Street NW and 111 Avenue NW. A range of service levels are available on these corridors, including frequent, local and rapid bus routes.

Mass transit bus routes are anticipated to operate on 95 Street NW and 111 Avenue NW in the mass transit network associated with the 1.25 million population scenario of the City Plan. These routes will be similar to existing frequent bus service in the area.

Utilities

The proposed rezoning is not anticipated to have a significant impact to the existing sanitary and storm sewer systems in the area, and these existing service connections can continue to be utilized.

Development allowed under the proposed zone would be required to include on-site stormwater management techniques utilizing a controlled outflow rate to mitigate its impact on the existing drainage infrastructure. Details of the required stormwater management will be reviewed at the Development Permit stage.

Low Impact Development (LID) is recommended for the development allowed under the proposed zone. Details of any proposed LID would be reviewed at the Development Permit stage.

There is a deficiency in on-street fire protection adjacent to the property in terms of hydrant spacing. Edmonton Fire Rescue Services (EFRS) may be able to perform an Infill Fire Protection Assessment (IFPA) at the Development Permit stage to potentially alter or lessen on-street fire protection infrastructure upgrades, assuming certain criteria are met.

The applicant/owner will be responsible for all costs associated with any changes to the existing water infrastructure and LID facilities required by the proposed zoning.

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