

19904 - 21 Avenue NW and 2110 - 199 Street NW

Position of Administration: Support



Summary

Bylaw 21145 proposes a rezoning from the Agriculture (AG) and General Commercial (CG) Zones to the Direct Control (DC) Zone to allow for commercial and residential uses, a main street area and provide an interface with the Natural Area that will allow for natural surveillance and connectivity.

Public engagement for this application included a mailed notice and information on the City's webpage. Two (2) people had questions about the application and raised concerns about the location of large buildings on the subject site.

Administration supports this application because it:

- Allows for the continued development of an approved neighbourhood.
- Conforms to The City Plan by supporting growth within existing approved neighbourhoods and developing Nodes.
- Supports the creation of a neighbourhood destination with a central Main Street.

Application Details

This application was submitted by Stantec Consulting Ltd. on behalf of Cameron Development Corporation.

Rezoning

The proposed Direct Control Zone (DC) would allow development with the following key characteristics:

- Commercial uses up to 16.0 metres (four storeys), except for hotels, which can be up to 30.0 metres (9 storeys).
- Limited multi-unit residential uses up to 16 metres (four storeys).
- Limited Indoor Self-Storage, which must be constructed above the ground floor
- Maximum FAR between 2.0 - 3.5

Site and Surrounding Area

This undeveloped site is located in the northeastern section of the neighbourhood. The Stillwater neighborhood is still in the initial phases of development, with most of the current development concentrated west and south of the site. The proposed site is intended to be a component of the greater Riverview Center District Node. To the south of the site, within the natural area and the stormwater management facility, there are existing shared-use paths. Public transit services are available along Maskêkosihk Trail NW, Stillwater Boulevard, and Richard Rice Boulevard NW.

	Existing Zoning	Current Development
Subject Site	Agriculture Zone (AG)	Undeveloped
	General Commercial (CG) Zone	Undeveloped
North	Agriculture Zone (AG)	Undeveloped
East	Public Utility Zone (PU)	Undeveloped
	Agriculture Zone (AG)	Undeveloped (Future Transit Centre)
South	Natural Area Zone (NA)	Natural Area

	Stillwater Row Housing Zone (SRH)	Row Housing
	Stillwater Low Density Residential Zone (SLD)	Single Detached Housing, Playground & Stillwater HOA Clubhouse
West	Stillwater Row Housing Zone (SRH)	Row Housing

Community Insights

This application was brought forward to the public using a basic approach, as the proposed application conforms with the Stillwater Neighbourhood Structure Plan. The basic approach included:

Mailed Notice, October 1, 2024

- Notification radius: 61 metres
- Recipients: 89
- Responses: 2
 - Mixed/Questions only: 2(100%)

Webpage

- edmonton.ca/rezoningapplications

Notified Community Organizations

- No Community League in the area

Common comments heard:

- Wanted more information regarding the application.
- requested that larger buildings be developed along the arterials.

Application Analysis



Site analysis context

The City Plan

The subject site is in a developing area within a district node, as identified in The City Plan. The City Plan designates specific areas within the city as Nodes where population, business and employment growth are to be focused. These Nodes will support a variety of goals, targets and policies outlined in the The City Plan as the city grows toward a population of two million.

The proposed rezoning aligns with The City Plan's Big City Moves, "A Community of Communities" and "Catalyze and Converge" by:

- Supporting the creation of 15-minute districts that enable residents to complete their daily needs.
- Providing commercial and residential opportunities that provide a range of services and amenities to the surrounding residential areas.
- Creating new commercial employment opportunities in a developing part of the City.

In addition, the proposed rezoning will support the concentration of population, business and employment growth in this part of the City.

West Henday District Plan & District Policy

The proposed site is within the West Henday District Plan, which designates the site for urban mix land uses and as being within the Riverview Center District Node. District Nodes are defined as urban centres that provide for a variety of housing types, gathering places, and land uses that

provide for the needs of nearby neighbourhoods and within a short walk or bike ride. Additionally, Urban Mix includes housing, shops, services, and offices in one land use category, which includes residential, commercial, and mixed use development.

This application conforms to the West Henday District Plan by:

- Providing opportunities for commercial and residential land uses
- Creating more employment housing opportunities
- Contributing to a larger district node
- Providing access to the future transit center located in the adjacent neighbourhood

Neighbourhood Structure Plan

The Stillwater Neighbourhood Structure Plan (NSP) serves as the guiding document for the development of the neighbourhood. It designates the site as a town center commercial area with a main street land use designation. Furthermore, the policies and objectives outlined in the Stillwater NSP state that future development support opportunities for a diverse range of uses, including office, retail, residential, entertainment, and urban services. These land uses are to be integrated both vertically and horizontally and are generally expected to be built to a human-scale. The development should interface with the adjacent Natural Area, allowing for protection, sensitive transition, natural surveillance and connectivity, all under the direction of a direct control zone.

The proposed Direct Control (DC) Zone conforms to the Stillwater NSP policies and objectives by:

- Designing a comprehensive site planning approach with careful attention being paid to site design and planning to ensure a high quality neighbourhood focal point.
- Creating a pedestrian-friendly interface between the town centre and the natural area by providing plazas, amenity areas, walkway connections, landscaping buffers, and appropriate placement of waste collection and signs.

Land Use Compatibility

The proposed Direct Control (DC) Zone will allow for a variety of commercial and residential uses, along with an interface, transition and pedestrian connection to the adjacent natural area. Regulations in the DC Zone provide directions to create a main street area with a plaza, which will include design elements to create a human-scale pedestrian environment. These elements include wider sidewalks, curb extensions, landscaping and marked pedestrian crossings.

The DC Zone will include regulations to protect the existing natural area by providing an appropriate transition and interface. This includes a 3 metre wide landscape buffer, fencing along the natural area and directing surface runoff water away from the natural area to prevent contaminants from entering into the natural area. It also includes a regulation to have at least 30% of roadways adjacent to the natural area. The DC Zone includes regulations for shared-use paths and sidewalks connecting pedestrians to amenity areas and this adjacent natural area.

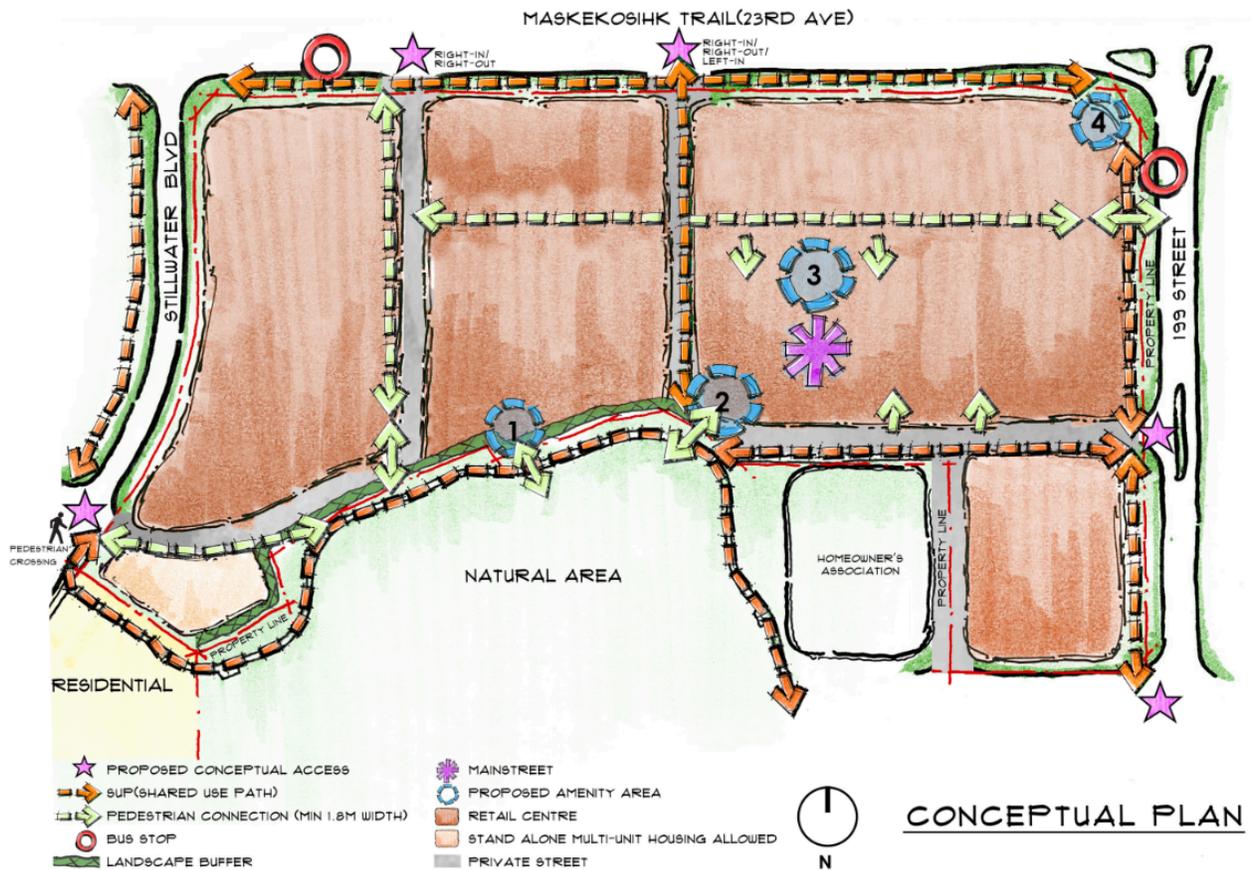
The DC Zone will also provide for a range of small, medium and large commercial retail developments up to 16 m in height (approximately four storeys). One exception to this is that hotels are allowed to be constructed up to 30 metres (approximately nine storeys), which is consistent with policy language in zones such as the General Commercial (CG) Zone. A potential

stand-alone multi-unit residential development is located in the southwest corner of the site up to 16 meters in height (four storeys) and provides for an appropriate transition to the existing low density residential uses.

The height, scale, and uses within the proposed DC Zone will help to meet the daily needs of the local and larger area residents and will be compatible with the existing and proposed surrounding areas in conformance with the Stillwater NSP.

	CG Current	DC Proposed
Typical Uses	Commercial Limited Residential	Commercial Limited Residential
Maximum Height	16.0 m 30.0 m (Hotels only)	16.0 m 30.0 m (Hotels only)
Maximum Floor Area Ratio	2.0 - 3.5	2.0 - 3.5
Minimum Setback (Streets)	0m - 6.0 m	3.5 m - 4.5 m 1.5 m (multi unit site with shared use path)
Minimum Setback (Alleys)	0 m - 3.0 m	No alleys
Minimum Setback (Abutting Developable Sites)	3.0 m - 9.0 m	1.5 m (residential site with shared use path)
Minimum Setback (Natural Area)	N/A	6.0 m

The proposed DC site plan, shown below, illustrates the approximate location of the main street, amenity, retail and residential areas, pedestrian connections, access points, bus stops, a landscape buffer and the existing natural area. The site plan will be attached to the DC Zone and guide development in accordance with the proposed regulations.



Mobility

The site is within the Stillwater NSP Town Centre area pedestrian zone. The mobility network in this zone requires special attention to the design of streets and active mode connections to encourage active transportation. Site planning must prioritize pedestrian connectivity both within the site and to/from the site to sidewalks, shared use paths, and bus stops on Maskêkosihk Trail NW, 199 Street and Stillwater Boulevard. Regulations within the proposed DC Zone have been included to ensure that sidewalks are constructed along the internal private streets, shared use paths are publicly accessible 24-hours a day, and installation of a pedestrian crosswalk at the Stillwater Boulevard access. Along the proposed main street, active modes elements are further enhanced through features such as wider sidewalks, curb extensions, landscaping, and clearly delineated pedestrian crosswalks. Vehicular access to the site will be available from the surrounding public roadways.

ETS operates bus service adjacent to the site on Maskêkosihk Trail NW, 199 Street, and Stillwater Boulevard. This local bus route connects Stillwater residents to the Lewis Farms Transit Centre. ETS intends to further expand bus operations within Stillwater in the future, which may include the construction of the future Riverview Transit Centre directly east of this site, but this is dependent on demand, neighbourhood build-out and available funding for transit.

Open Space

Natural Area NW357 is located directly south of the proposed development. The interface between the commercial site and Natural Area will include a mix of 3 m landscape buffer and fencing that will provide a sensitive transition between land uses, enable further environmental protection of the Natural Area, and support a pedestrian friendly and welcoming interface for users. The proposed development will offer publicly accessible privately owned Amenity Areas that will support gathering activities or passive recreation that connect into the pedestrian corridors within the commercial site and to the existing trail system within the Natural Area.

Utilities

The proposed rezoning area conforms to the Stillwater Neighbourhood Design Report (NDR), which identifies sanitary and stormwater servicing plans for the neighbourhood. Sewer services are available, connecting to the existing system located within 199 Street NW and 21 Avenue NW. These existing systems have been designed and constructed to accommodate development under the proposed rezoning.

The applicant/owner will be responsible for all costs associated with infrastructure improvements required by this application.

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Approved By: Tim Ford

Branch: Development Services

Section: Planning Coordination