Mark-up and Rationale of Proposed Text Amendment

Mark-up Categories

Changes to specific regulations will be identified using the following formatting standards:

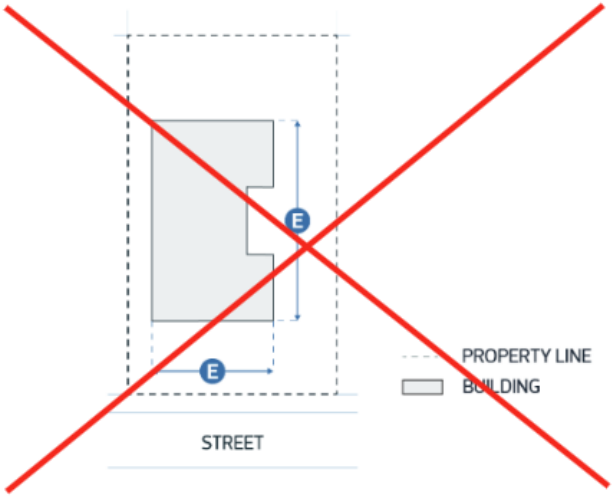
Black Font - Existing text in Zoning Bylaw 20001
~~Strikethrough~~ - Proposed deletion from Zoning Bylaw 20001
Underline - Proposed addition to Zoning Bylaw 20001

2.10 RS - Small Scale Residential Zone

#	Proposed Markup	Rationale
1	**4. Site and Building Regulations for applications which are complete for review under Section 7.130.2.1.2. on or after July 14, 2025** 4.1 Development must comply with Table 4.1:	**4.** To minimize the impact on existing mid-block row housing applications or applications soon to be submitted, Administration is proposing to apply the new rules only to applications submitted on or after July 14, 2025. **4.1.8.** - Minor wording change proposed to improve readability. **4.1.9.** - During the Zoning Bylaw one year review, concerns were heard from residents about the size of new developments on interior sites and how new row housing units were being integrated into existing neighbourhoods. The purpose of this regulation is to address the concerns raised by limiting

Table 4.1. Site and Building Regulations

Subsection	Regulation	Value	Symbol
Building Length			
4.1.8.	Maximum building length ~~of any building~~	30.0 m	**E**
	~~**Diagram for Subsection 4.1.8**~~		



Unless the following applies:

4.1.9.	Maximum building length along an Interior Side Lot Line for an Interior Lot	50% of Site Depth or 25.0 m, whichever is less	**F**

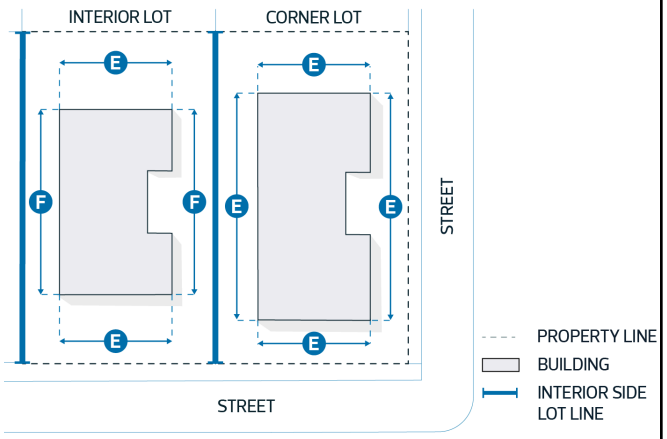
Diagram for Subsections 4.1.8 and 4.1.9

the length of a building wall along the side lot line of a neighbouring site to reduce building mass and shadow impacts on neighbouring back yards.

Regulation 4.1.9 proposes to allow a maximum building length along an interior side lot line equal to half the site depth, up to a maximum of 25 m. This will allow building length to increase as the lot depth increases while keeping the development sensitive to the existing context. The maximum 30 m building length along the front and rear lot lines would not be impacted by this regulation.

Regulation 4.19. would only apply to interior lots. Development on corner lots will still be permitted a maximum building length of 30 m. This is because corner lots are typically larger and share fewer lot lines with their neighbours, providing a larger buffer to surrounding residential properties.

A new diagram is proposed to illustrate existing regulation 4.1.8 alongside proposed regulation 4.1.9.



2

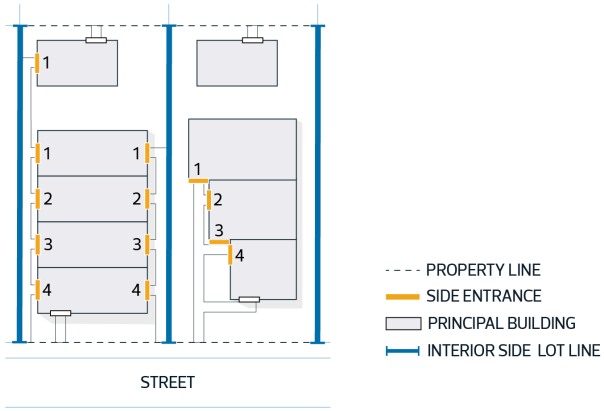
4.1 Development must comply with Table 4.1:

Table 4.1. Site and Building Regulations			
Subsection	**Regulation**	**Value**	**Symbol**
Building Entrances			
4.1.10.	Maximum number of entrances on the side of a building along the Interior Side Lot Line	4	-
	Diagram for Subsection 4.1.10		

4.1.10. - The purpose of this proposed regulation is to encourage a more even distribution of building entrances throughout the site, so that development does not result in a concentration of building entrances facing one neighbour's side lot line.

Building entrances can lead to increased activity in side yards. Regulating the distribution of building entrances on a site can help reduce perceived impacts on neighbouring properties.

The intent of this regulation is to include all exterior entrances including, main entrances, secondary entrances



and entrances to mechanical rooms. An exterior door that leads to a common interior vestibule shared by two dwellings would count as one entrance.

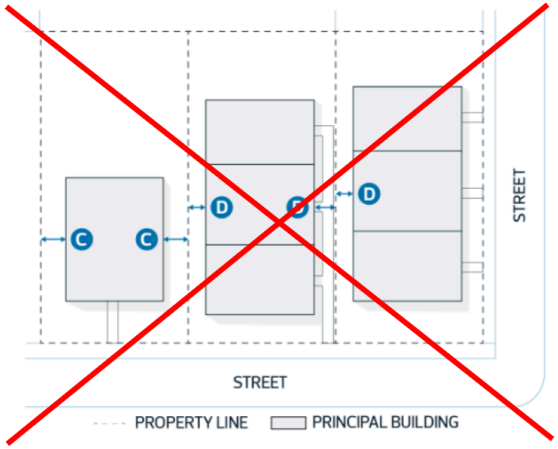
3

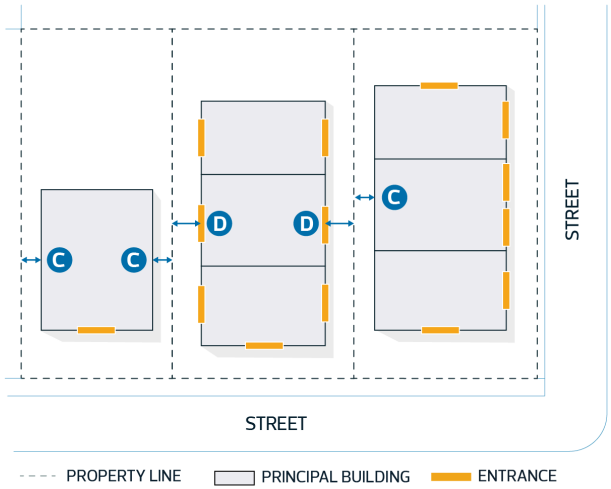
4.3 Setbacks must comply with Table 4.3:

Table 4.3. Setback Regulations			
Subsection	**Regulation**	**Value**	**Symbol**
Side Setbacks			
4.3.3.	Minimum Interior Side Setback	1.2 m	**C**
Unless the following applies:			
4.3.4.	Minimum Interior Side Setback for Row	1.9 m ~~1.5 m~~	**D**

4.3.4. - This proposed regulation applies to row housing and multi-unit housing developments which typically feature multiple side entrances and accommodate a greater number of residents.

The purpose of this amendment is to ensure there is enough space in the interior side yard for movement of people when side entrances are proposed. The minimum 1.9 m is intended to accommodate a minimum 0.15 wide drainage swale, minimum 0.9 m wide pathway, and minimum 0.76 m window well or a portion of entrance steps/landings.

			Housing and Multi-unit Housing where an entrance is located on the side of the building along an Interior Side Lot Line ~~when Row Housing or Multi-unit Housing faces an Interior or Flanking Side Lot Line~~			While there are a variety of ways to design swales, pathways, window wells and entrance steps in a side yard, Administration proposes that a minimum setback of 1.9 m will improve side yard functionality. Where a side entrance is not proposed, the minimum interior side setback for row housing and multi-unit housing would be 1.2 m.
			Diagram for Subsections 4.3.3 and 4.3.4  			

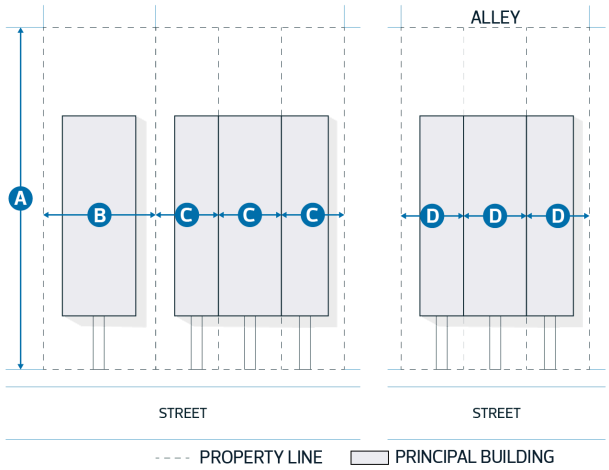
		
4	**5. Design Regulations for applications which are complete for review under Section 7.130.2.1.2. on or after July 14, 2025** **Building Design Regulations** 5.1. Where a building wall: 5.1.1. faces a Street; or 5.1.2. has a total length greater than 20 m facing the Interior Side Lot Line of a Site in a residential Zone, the Facade must be articulated using 2 or more design techniques or features to minimize the perception of massing, eliminate large blank walls, provide visual interest, and accentuate main entrances facing the Street. Design techniques	**5.** To minimize the impact on existing mid-block row housing applications or applications soon to be submitted, Administration is proposing to apply the new rules only to applications submitted on or after July 14, 2025. **5.1.2.** - This change is proposed so that the articulation requirements only apply where the building wall faces the interior side lot line. The articulation of the building wall facing the rear lot line is less impactful because there is a larger setback required between the building wall and a rear lot line and a garage may be

	or features may include: variations in rooflines; vertical or horizontal building wall projection or recessions; visual breaks of building Facades into smaller sections; features such as windows, balconies, or porches; use of a combination of finishing materials; or other similar techniques or features. 5.2 Despite Subsection 5.1, where a building wall for Row Housing or Multi-unit Housing: 5.2.1. faces a Street; or 5.2.2. faces the Interior Side Lot Line of a Site in a residential Zone, the Facade must be articulated using 2 or more design techniques to minimize the perception of massing, eliminate large blank walls, provide visual interest, and accentuate main entrances facing the Street. Design techniques may include those described in Subsection 5.1, other than windows, balconies, and porches. 5.3~~2~~. Identical or mirrored front Facades are not permitted on Abutting Sites. Developments on Abutting Sites must be differentiated by 2 or more design features. This does not apply to attached Dwellings within the same building. 5.4~~3~~. On Corner Sites, all principal building Facades facing a Street must use consistent exterior finishing materials and architectural features and include features such as windows, doors, or porches. **Entrance and Window Design Regulations** 5.5~~4~~. All principal ground-oriented Dwellings and non-Residential	located between the building wall and the rear lot line. **5.2.** - The purpose of this proposed amendment is to enhance the appearance of Row Housing and Multi-unit Housing facades that face streets and minimize the perception of building size along interior side lot lines shared with a residential zone. The proposed regulation applies regardless of building length. Windows, porches and balconies are proposed not to count as a design technique to avoid incentivizing placement of these features in the side yard. Windows and covered entrances for row housing are proposed to be regulated under Subsection 5.6 (see below). **Note:** Changes in colour do not count towards the minimum articulation requirements.

	Uses adjacent to a Front or Flanking Side Lot Line must have a main entrance door, porch, or landing facing either the Front or Flanking Side Lot Line, except: 5.54.1. Backyard Housing, Cluster Housing, or Multi-unit Housing. 5.6. All principal Row House Dwellings adjacent to a Front Lot Line on an Interior Site must be oriented towards the Street. The Street-facing Facade of each Row House Dwelling adjacent to the Front Lot Line must: 5.6.1. include a main entrance door facing the Street that incorporates a covered entrance feature; and 5.6.2. have clear glass windows covering a minimum of 15% of the Facade area above the Basement. *Renumber all of the following subsections, diagrams and references to subsections accordingly.*	**5.6.** - The purpose of this proposed regulation is to address concerns heard through the Zoning Bylaw one year review that some row housing developments on interior sites have street-facing facades that look like the side of a house, with few windows and little architectural detail. The proposed regulation will only apply to row housing on interior lots. It establishes minimum design expectations for a street-facing facade including a well-defined main entrance and a minimum percentage of windows. The proposed regulation will help eliminate blank walls, encourage eyes on the street, and create visual interest.
5	**7. Site and Building Regulations for applications which are complete for review under Section 7.130.2.1.2, prior to July 14, 2025** 7.1. Development must comply with Table 7.1: **Table 7.1. Site and Building Regulations**	**7.** - A copy of the current Site and Building regulations under the RS Zone are proposed to be maintained to minimize the impact on existing mid-block row housing applications or applications soon to be under review. Administration will bring forward a future Omnibus in Q1 2026 to remove Section 7.

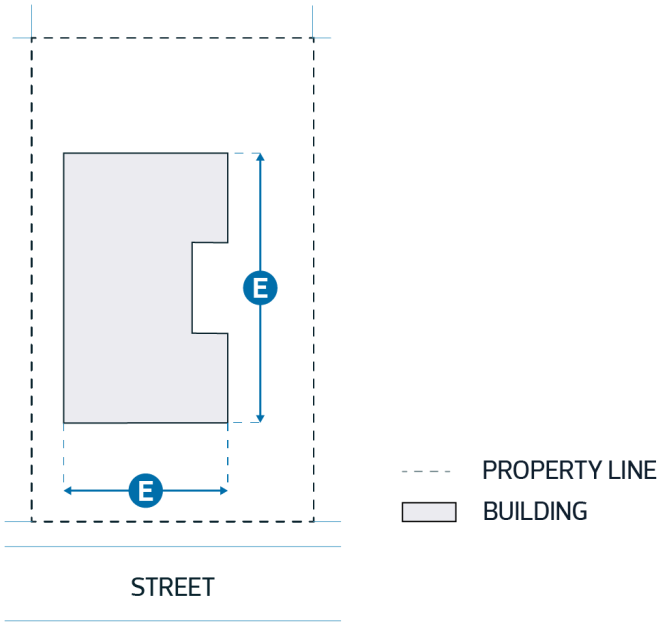
Subsection	Regulation	Value	Symbol
Site Dimensions			
7.1.1.	Minimum Site area per Dwelling	75.0 m2	-
7.1.2.	Minimum Site Depth	30.0 m	**A**
7.1.3.	Minimum Site Width	7.5 m	**B**
Lot Width for Attached Principal Dwellings			
7.1.4.	Minimum Lot Width where the Dwellings are developed on separate Lots not Abutting an Alley	5.0 m	**C**
7.1.5.	Minimum Lot Width where the Dwellings are developed on separate Lots Abutting an Alley	4.0 m	**D**

Diagram for Subsections 7.1.2, 7.1.3, 7.1.4, and 7.1.5



Height			
7.1.6.	Maximum Height	10.5 m	-
Site Coverage			
7.1.7.	Maximum Site Coverage	45%	-
Building Length			
7.1.8.	Maximum length of any building	30.0 m	E

Diagram for Subsection 7.1.8



7.2. Despite Subsection 7.1.7, the maximum Site Coverage is increased by 2% where:

7.2.1. it is used to accommodate a single storey unenclosed front porch;

7.2.2. 1 or more buildings listed in the Inventory of Historic Resources are retained as part of a proposed development to the satisfaction of the Development Planner, in consultation with the City department responsible for heritage planning; or

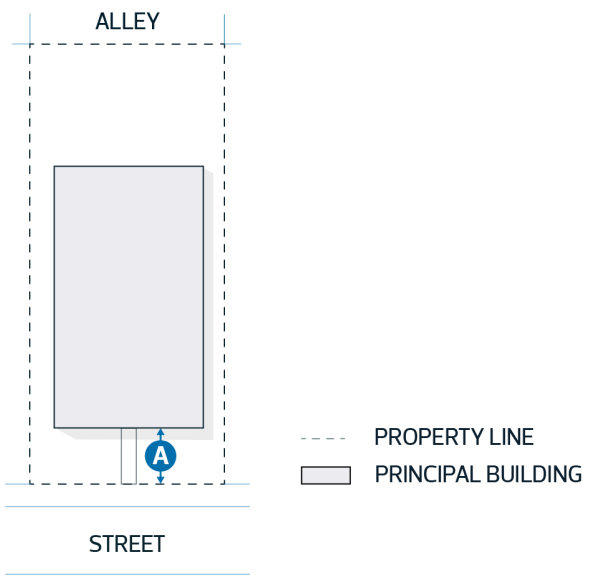
7.2.3. Supportive Housing, or a minimum of 20% of all Dwellings, comply with the inclusive design requirements of Section 5.50.

7.3. Setbacks must comply with Table 7.3:

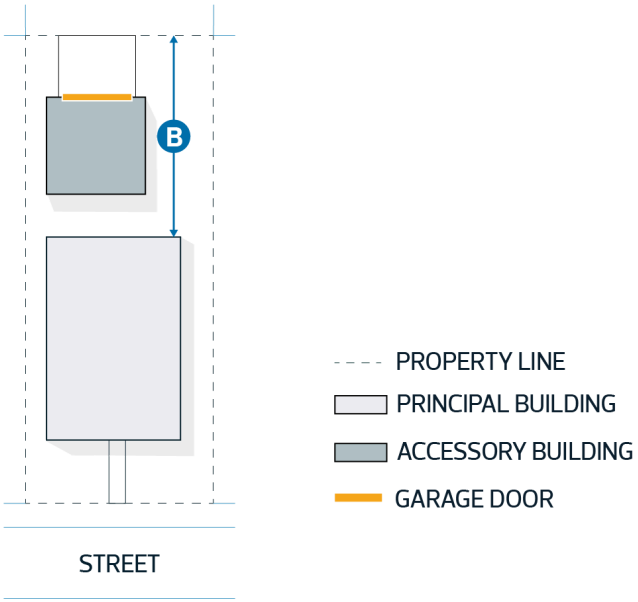
Table 7.3. Setback Regulations

Subsection	Regulation	Value	Symbol
Front Setback			
7.3.1.	Minimum Front Setback	4.5 m	**A**

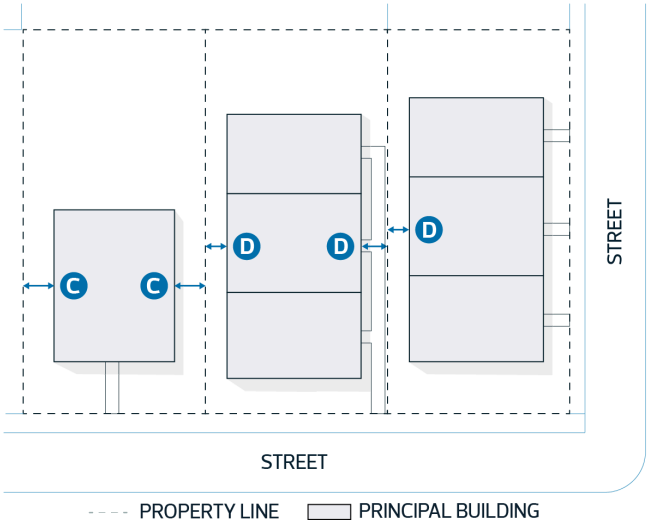
Diagram for Subsection 7.3.1



Rear Setback			
7.3.2.	Minimum Rear Setback	10.0 m	**B**
	Diagram for Subsection 7.3.2		

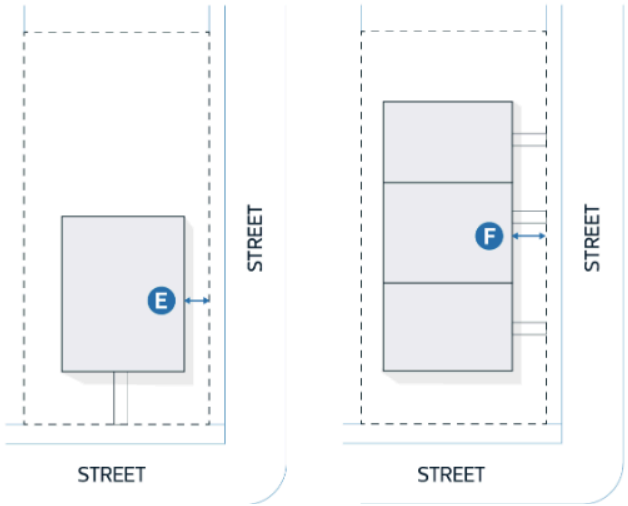


Side Setbacks			
7.3.3.	Minimum Interior Side Setback	1.2 m	**C**
Unless the following applies:			

7.3.4.	Minimum Interior Side Setback when Row Housing or Multi-unit Housing faces an Interior or Flanking Side Lot Line	1.5 m	**D**
	Diagram for Subsections 7.3.3 and 7.3.4 		
7.3.5.	Minimum Flanking Side Setback	1.2 m	**E**
Unless the following applies:			
7.3.6.	Minimum Flanking Side Setback when a main entrance of a principal	2.0 m	**F**

	Dwelling faces a Flanking Side Lot Line		

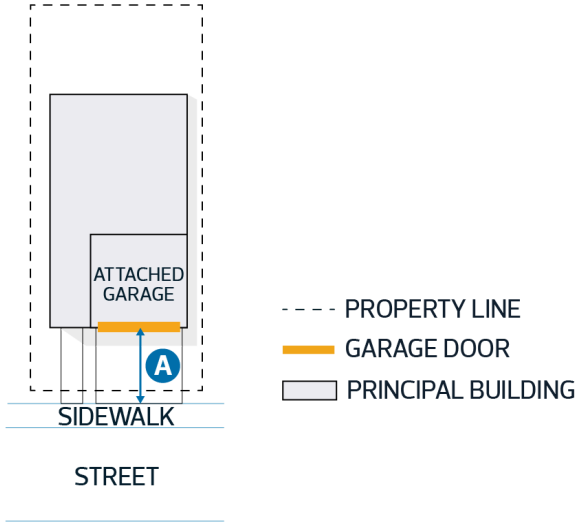
Diagram for Subsections 7.3.5 and 7.3.6



7.4. Driveway length must comply with Table 7.4:

Table 7.4. Driveway Length Regulations			
Subsection	**Regulation**	**Value**	**Symbol**
Site Area			

	7.4.1.	Minimum Driveway length between a Garage door and the back of an existing or approved sidewalk at the time of the Development Permit application	6.0 m	**A**
	Unless the following applies:			
	7.4.2.	Minimum Driveway length between a Garage door and the Front Lot Line or Flanking Side Lot Line, where there is no existing or approved public sidewalk at the time of the Development Permit application	5.5 m	**-**
		Diagram for Subsection 7.4.1		

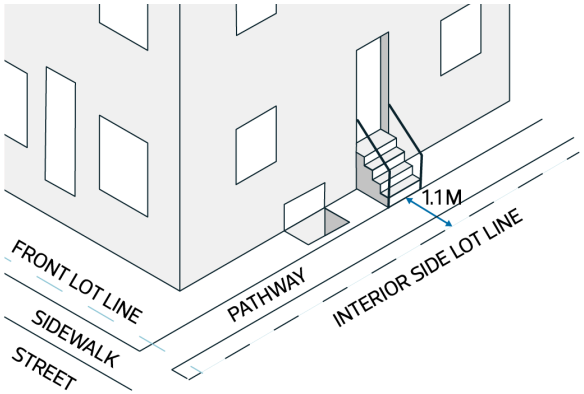


7.5. The minimum distance between a rear detached Garage and a principal Dwelling, except for Backyard Housing, on the same Site is 3.0 m.

6	**8. Design Regulations for applications which are complete for review under Section 7.130.2.1.2, prior to July 14, 2025** **Building Design Regulations** 8.1. Where a building wall: 8.1.1. faces a Street; or 8.1.2. has a total length greater than 20 m facing a Site in a residential Zone, the Facade must be articulated using 2 or more design techniques or features to minimize the perception of massing, eliminate large blank walls, provide visual interest, and accentuate main entrances facing the Street. Design techniques or features may include: variations in rooflines; vertical or horizontal building wall projection or recessions; visual breaks of building Facades into smaller sections; features such as windows, balconies, or porches; use of a combination of finishing materials; or other similar techniques or features. 8.2. Identical or mirrored front Facades are not permitted on Abutting Sites. Developments on Abutting Sites must be differentiated by 2 or more design features. This does not apply to attached Dwellings within the same building. 8.3. On Corner Sites, all principal building Facades facing a Street must use consistent exterior finishing materials and architectural features and include features such as windows, doors, or porches. **Entrance Design Regulations**	**8.** - A copy of the current Design Regulations in the RS Zone are proposed to be maintained to minimize the impact on existing mid-block row housing or applications soon to be under review. Administration will bring forward a future Omnibus in Q1 2026 to remove Section 8.

	8.4. All principal ground-oriented Dwellings and non-Residential Uses adjacent to a Front or Flanking Side Lot Line must have a main entrance door, porch, or landing facing either the Front or Flanking Side Lot Line, except: 8.4.1. this regulation does not apply to Backyard Housing, Cluster Housing or Multi-unit Housing. 8.5. All Cluster Housing and Multi-unit Housing principal buildings adjacent to a Street must have at least 1 main entrance: 8.5.1. facing a Street; or 8.5.2. facing an internal courtyard that is visible from a Street. 8.6. Where Multi-unit Housing has a building wall length greater than 12.8 m and fronts onto a Street with an existing or approved sidewalk, each Ground Floor Dwelling along that wall must have an individual entrance with direct ground level access to a Street with an existing or approved sidewalk. 8.7. Sliding patio doors must not serve as the main entrance of a Dwelling. 8.8. Main entrances for Multi-unit Housing must incorporate weather protection features in the form of canopies, awnings, overhangs, vestibules, recessed entrances or other architectural elements to provide all-season weather protection to pedestrians and to enhance the visibility of entrances.	
5.90 Projection into Setbacks		

7	**Unenclosed Steps** 2. Unenclosed steps may project into a required Setback as long as: 2.1. a minimum distance of 0.6 m is maintained between the Lot line and the unenclosed steps; 2.2. the unenclosed steps do not project into a required Pathway or drainage path; and 2.3. the unenclosed steps do not project into a required Setback used for vehicle access. ~~3. Despite Subsection 2, unenclosed steps that have a landing less than or equal to 1.5 m2 and that provide Ground Floor access to a building may project any distance into a required Setback.~~ 34. Unenclosed steps may only project into a required Interior Side Setback where they have a maximum Height of 1.0 m. 4. Despite Subsection 2.1, where unenclosed steps are oriented toward the Interior Side Lot Line, a minimum distance of 1.1 m must be maintained between the Interior Side Lot Line and the unenclosed steps. **Diagram for Subsection 4**	**2.2. -** The purpose of this proposed amendment is to ensure that, where provided, unenclosed steps do not project into a required pathway or drainage path. **2.3.** - This regulation is proposed to be moved from a regulation below to keep similar regulations under one subsection. **Proposal to remove current subsection 3:** This amendment proposes to remove the ability of unenclosed steps to project to the property line. Removing this regulation means that subsection 2.1 would apply requiring a minimum 0.6 m distance from the property line in all cases. This will provide space for maintenance of the required drainage swale along the side lot line and will lessen the likelihood of unenclosed steps encroaching onto road right of way. **4.** - This regulation is proposed to clarify the minimum distance needed when the treads and risers of entrance steps face the side lot line (rather than the front or rear lot lines). A minimum distance of 1.1 m between the steps and the side lot line will allow for a minimum 0.9 m wide pathway or landing area and a minimum 0.15 m wide drainage swale.

	 ~~5. Despite Subsections 2 and 3, unenclosed steps must not project:~~ ~~5.1. into a required Setback used for vehicle access; or~~ ~~5.2. into a required drainage path on a Zero Lot Line Development.~~ *Renumber all of the following subsections, diagrams and references to subsections accordingly.*	**Note:** Regulations applied to unenclosed steps include associated landings. **Proposal to relocate current subsection 5:** This amendment proposes to relocate subsection 5 to subsection 2.2 and 2.3 (see above).