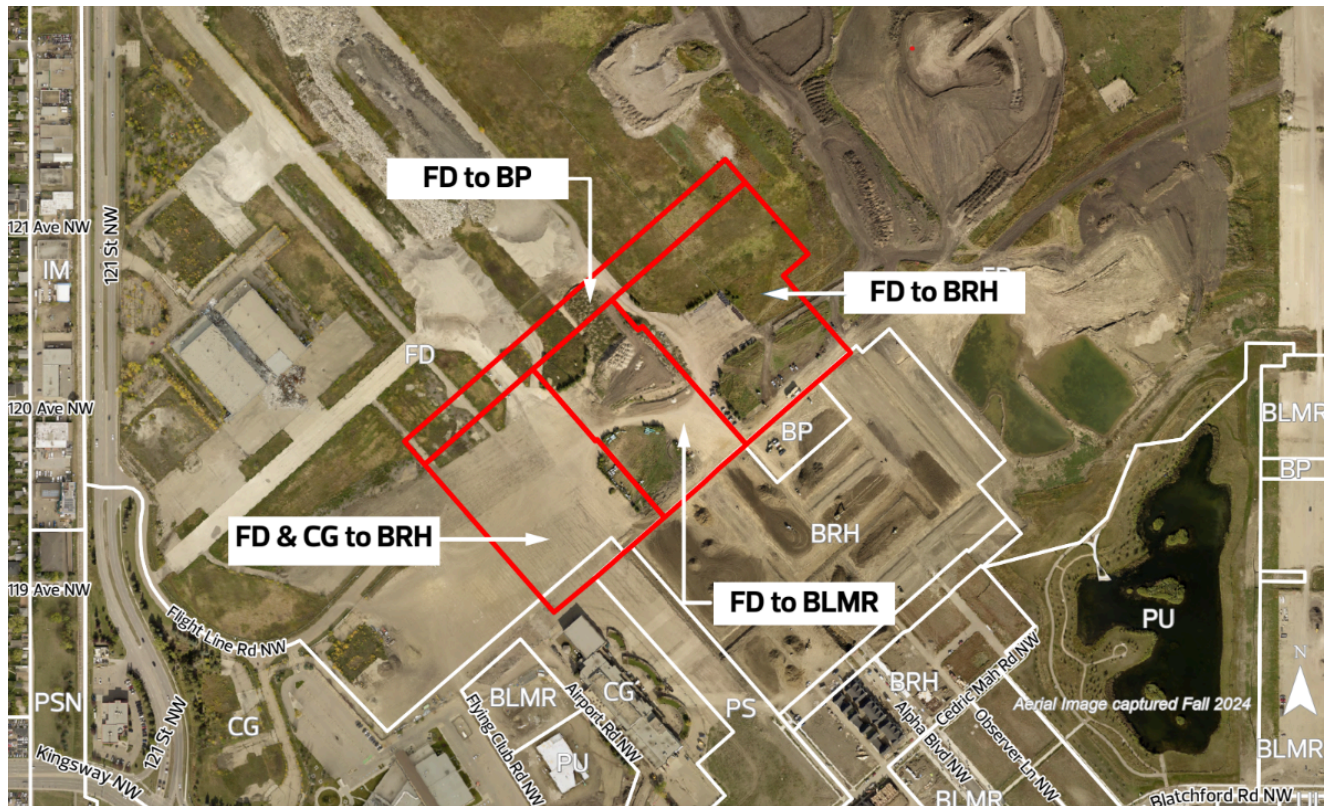


101 - Airport Road NW

Position of Administration: Support



Summary

Bylaw 21203 proposes a rezoning from the Future Urban Development Zone (FD) and the General Commercial Zone (CG) to the Blatchford Row Housing Zone (BRH), Blatchford Low to Medium Rise Residential Zone (BLMR), and Blatchford Parks Zone (BP) to allow for medium density residential development, low to medium rise residential development, and open space. Public engagement for this application included a mailed notice, site signage, and information on the City's webpage. No responses were received.

Administration supports this application because it:

- Supports the continued development of the Blatchford neighbourhood, in conformance with the Centre City Area Redevelopment Plan (ARP).
- Is compatible with current and future land uses in the Blatchford neighbourhood.

Application Details

This application was submitted by WSP Canada Inc. on behalf of the City of Edmonton.

Rezoning

The proposed Blatchford Row Housing Zone (BRH), Blatchford Low to Medium Rise Residential (BLMR) and the Blatchford Park Zone (BP) would allow development with the following key characteristics:

- Row housing and stacked row housing development up to 13 metres in height or approximately 3 storeys (BRH Zone);
- Low to medium rise residential development up to 23 metres in height or approximately 6 storeys (BLMR Zone); and
- Open space in the forms of greenways which will connect to the neighbourhood’s district park (BP Zone).

This application also includes an amendment to Appendix 1 of Section 3.40 of the Zoning Bylaw (Blatchford Special Area) to apply Street Classifications to the rezoning area.

Site and Surrounding Area

	Existing Zoning	Current Development
Subject Site	Future Urban Development Zone (FD) General Commercial (CG)	Vacant
North	Future Urban Development Zone (FD)	Vacant
East	Blatchford Parks Zone (BP) Blatchford Row Housing Zone (BRH)	Vacant
South	General Commercial Zone (CG) Parks and Services Zone (PS)	amiskwaciy Academy
West	Future Urban Development Zone (FD)	Vacant



View of the site looking north west

Community Insights

This application was brought forward to the public using a basic approach. This approach was selected because the application conforms to the Centre City Area Redevelopment Plan. The basic approach included:

Mailed Notice, March 13, 2025

- Notification radius: 60 metres
- Recipients: 100
- Responses: 0

Site Signage, March 5, 2025

- One rezoning information sign was placed on the property so as to be visible from Alpha Boulevard.

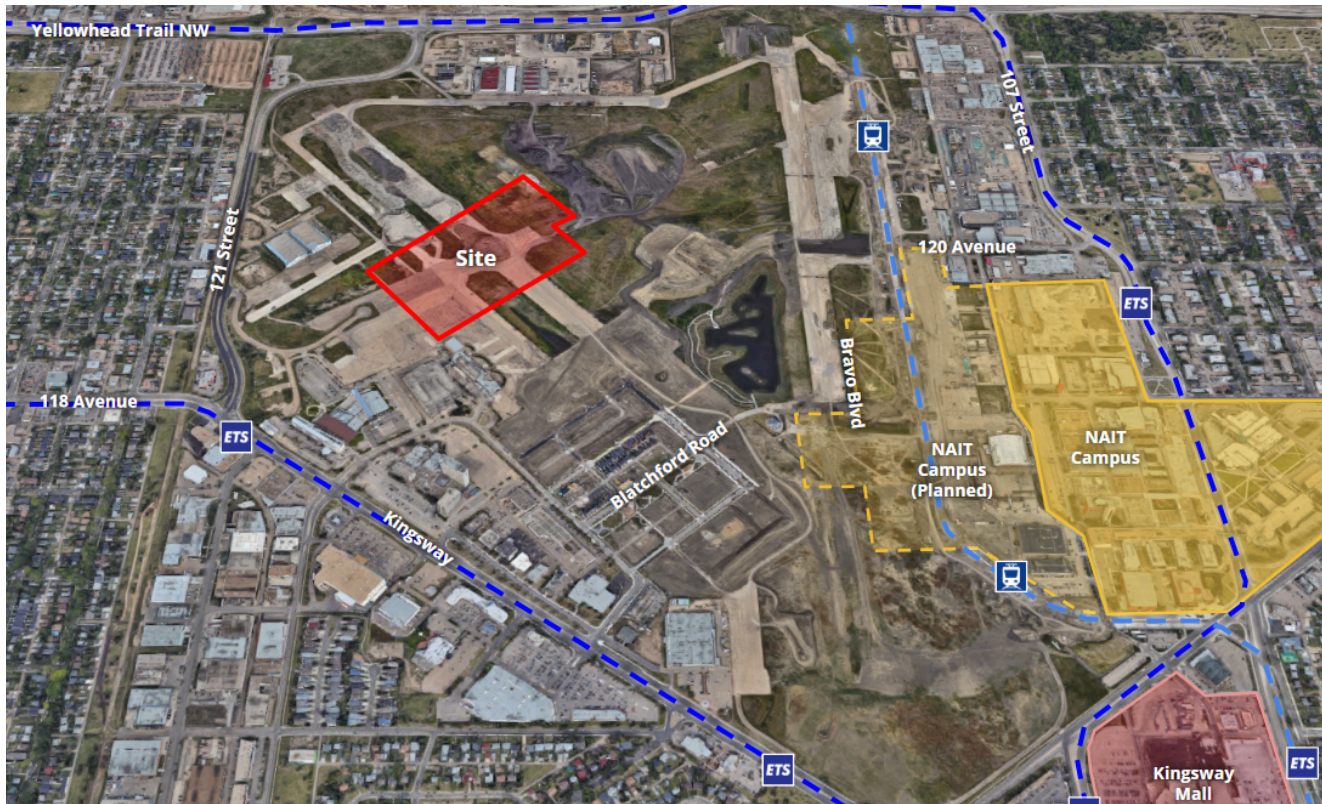
Webpage

- edmonton.ca/rezoningapplications

Notified Community Organizations

- Prince Rupert Community League
- Prince Charles Community League
- Spruce Avenue Community League
- Kingsway Business Improvement Area

Application Analysis



Site analysis context

The City Plan

With the proposed rezoning supporting the continued development of Blatchford, an infill neighbourhood that is connected to LRT and other transit services, it aligns with two big city moves in The City Plan: “a rebuildable city”, and a “community of communities”. Goals associated with a rebuildable city include adding 50% of net new units through infill city-wide, and welcoming 600,000 additional residents into the redeveloping area. Goals associated with the community of communities big city move include: 50% of trips made by transit and active transportation, and the creation of areas that allow people to meet their daily needs within 15-minutes of where they live.

North Central District Plan

The North Central District Plan recognizes the Centre City ARP as the statutory plan in effect for this area that guides rezonings and subdivisions. As outlined in the section below, this rezoning application aligns with the Centre City ARP.

Centre City Area Redevelopment Plan

This site is located within an area designated as the Agrihood District within the Centre City Area Redevelopment Plan (ARP). In the ARP, the Agrihood District envisions a mix of residential housing typologies such as townhouses, and low, medium and high rise housing, with pedestrian connections to the Parks District located northeast of the Agrihood District. The BRH,

BLMR, and BP Zones were designed to achieve the development objectives of the ARP and will contribute to the continued development of the Agrihood District.

Land Use Compatibility

The BRH, BLMR, and BP Zones, all special area zones, provide residential and open space opportunities that are consistent with the vision of the Centre City ARP. The BRH Zone allows for a more urban-format residential development pattern through smaller yards, greater height and individual access at ground level. The BLMR Zone allows for low to medium rise multi-unit housing with ground floor design that encourages an active interface with the street and/or adjacent open space, and the BP Zone allows for open space opportunities, additional commercial and community uses, as well as Low Impact Development. These zones are compatible with surrounding existing and planned land uses.

Mobility

This site abuts future Active and Quiet Streets that will provide access to the proposed rezoning properties and the Blatchford West area.

ETS operates numerous bus routes nearby on Kingsway Avenue. A range of services are available on the corridor, including local, express and school special bus routes. A rapid mass transit bus route is anticipated to operate nearby on Kingsway as part of the future mass transit network associated with the 1.25 million population scenario of the Edmonton City Plan.

Bus service is not currently available within Blatchford. ETS intends to expand operations to Blatchford in the future, but this depends on demand, neighbourhood build-out and available funding for transit.

Open Space

The proposed Blatchford Parks Zone (BP) will allow for a linear park intended to offer a neighbourhood gathering place, community gardens, shared use paths, small playgrounds and other programs suitable to the space.

Utilities

The proposed rezoning area conforms to the Blatchford Neighbourhood Design Report (NDR) which identifies sanitary and stormwater servicing plans for the neighbourhood. Sewer services are available connecting to the existing system located within Alpha Boulevard and Skis Landing. These existing systems have been designed and constructed to accommodate development under the proposed rezoning.

The applicant/owner will be responsible for all costs associated with infrastructure improvements required by this application.

Written By: Stuart Carlyle

Approved By: Tim Ford

Branch: Development Services

Section: Planning Coordination