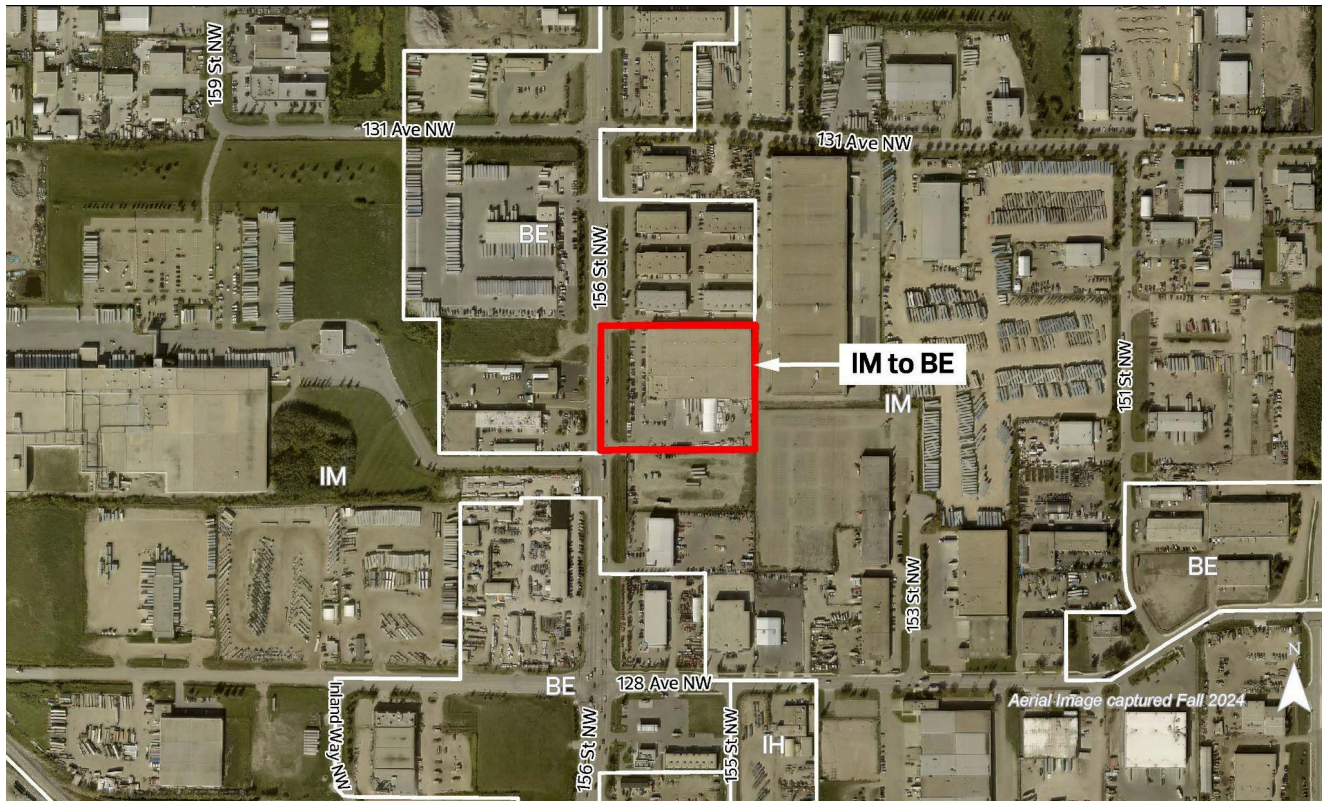


12959 - 156 Street NW

Position of Administration: Support



Summary

Bylaw 21206 proposes a rezoning from the Medium Industrial Zone (IM) to the Business Employment Zone (BE) to allow for light industrial and a variety of small commercial businesses up to 4 storeys.

Public engagement for this application included a mailed notice and information on the City's webpage. No responses were received.

Administration supports this application because it:

- Supports City Plan's goal of providing reinvestment opportunities and facilitating the redevelopment and intensification of industrial and commercial lands.
- Conforms with the Jasper Place District Plan that supports light industrial and commercial businesses with a higher standard of design within Non-Residential Intensification Areas.

- Is compatible with surrounding land uses.

Application Details

This application was submitted by Stantec on behalf of TBD Architecture and Planning.

The proposed Business Employment Zone (BE) would allow development with the following key characteristics:

- Light industrial and a variety of small commercial businesses with a higher standard of design.
- A maximum height of 16 m (approximately 4 storeys).
- Floor Area Ratio of 1.6.

Site and Surrounding Area

The site is located east of 156 Street, at the southern part of the Mistatim Industrial neighbourhood. The site is currently occupied by a warehouse and manufacturing facility for aluminum windows. It is surrounded by commercial and light industrial uses.

	Existing Zoning	Current Development
Subject Site	Medium Industrial Zone (IM)	Minor Industrial Use
North	Business Employment Zone (BE)	Commercial & Light Industrial Uses
East	Medium Industrial Zone (IM)	Minor Industrial (Shipping & Showroom)
West	Business Employment Zone (BE)	156 Street, Minor Industrial (Vehicle Repair Service)
South	Medium Industrial Zone (IM)	Minor Industrial (Outdoor Storage), Equipment Rental



View of the site looking northeast from 156 Street NW

Community Insights

This application was brought forward to the public using a basic approach. This approach was selected because the application facilitates anticipated development for the area through standard zone. The basic approach included:

Mailed Notice, March 5, 2025

- Notification radius: 61 metres
- Recipients: 122
- Responses: 0

Webpage

- edmonton.ca/rezoningapplications

Application Analysis

The rezoning site is located in the southeastern part of the Mistatim Industrial neighbourhood, surrounded by commercial and minor industrial uses. Currently, the site is occupied by a warehouse and manufacturing facility for aluminum windows. The properties to the north and west are zoned Business Employment (BE), while those to the south and east are zoned Medium Industrial (IM). Transit service is available along 131 and 128 Ave NW, with the nearest bus stop located 220m away from the site.

The proposed rezoning is to allow for an addition to the existing building to accommodate Minor Indoor Entertainment Uses while maintaining the current industrial operations on-site, as the proposed addition is not permitted under the current IM Zone.



Site analysis context

The City Plan

The City Plan identifies the site within the redeveloping non-residential area of the City. The proposed rezoning generally supports The City Plan's goal of providing reinvestment opportunities and facilitating the redevelopment and intensification of industrial and commercial lands.

District Plans

The site is located within the Jasper Place District Plan, which designates it for Commercial and Industrial Employment. It is also identified as part of Non-Residential Intensification Areas. These areas are designated by the City to encourage land use changes, including rezonings, to support additional employment activity in existing Commercial/Industrial Employment areas.

The proposed rezoning aligns with District Policy 2.5.3.3, which supports light industrial and commercial businesses with a higher standard of design along Arterial Roadways and within Non-Residential Intensification Areas.

Land Use Compatibility

The current IM Zone allows for minor industrial buildings and limited supporting commercial businesses, with a maximum height of 4 storeys. In contrast, the proposed BE Zone also allows for minor industrial buildings but expands the opportunities by permitting a variety of commercial uses. This broader range of commercial uses opens the door for additional investment opportunities due to the zone's flexibility.

The BE Zone features increased setbacks and a reduced floor area ratio, which enhances the potential for higher quality design compared to the IM Zone. This makes it particularly suitable for sites located along arterial roadways and within Non-Residential Intensification Areas.

The proposed BE Zone is compatible with the surrounding commercial and industrial uses, ensuring a smooth land use transition while providing additional development opportunities.

Below is a comparison of the proposed BE Zone with the existing IM zone:

	IM Current	BE Proposed
Typical Uses	Minor Industrial Outdoor Sales & Service Crematorium Office	Minor Industrial Indoor Sales & Service Minor Indoor Entertainment (GYM) Major Indoor Entertainment Office
Maximum Height	18.0 m	16.0 m
Maximum Floor Area Ratio	2.0	1.6
Minimum Front Setback (156 Street NW)	3.0 m	6.0 m

Mobility

The proposed rezoning is not anticipated to have a substantial impact on the transportation network. Pedestrian connections around the site are limited. Upon redevelopment, construction of a sidewalk along 156 Street may be required, and will be reviewed in further detail at the Development Permit stage. ETS operates weekday peak hour service only near to the rezoning

site. On Demand Transit is available within the acceptable walking distance which connects transit users to Westmount Transit Centre.

Utilities

The proposed rezoning is not anticipated to have a significant impact to the existing sanitary and storm sewer systems in the area, and these existing service connections can continue to be utilized.

Development allowed under the proposed zone would be required to include on-site stormwater management techniques utilizing a controlled outflow rate to mitigate its impact on the existing drainage infrastructure. Details of the required stormwater management will be reviewed at the Development Permit stage.

The applicant/owner will be responsible for all costs associated with infrastructure changes required by this application.

Written By: Eyouel Yimer

Approved By: Tim Ford

Branch: Development Services

Section: Planning Coordination