

Urban Planning and Economy

BYLAW 21474

Building Height Amendments to Zoning Bylaw 20001 -
Small Scale Residential Zone

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Edmonton

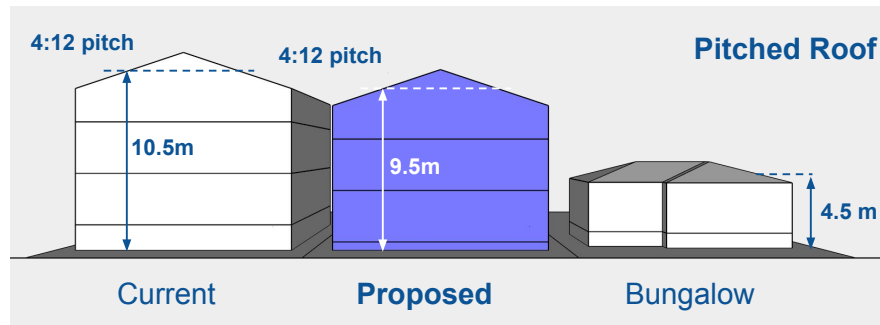
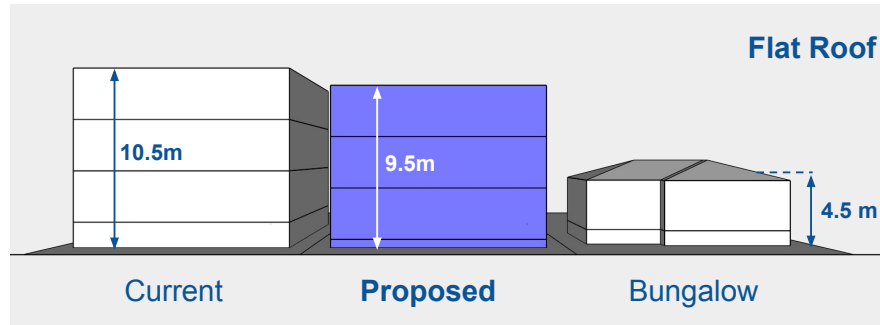
Previous Council/Committee Action

At the February 17, 2026 City Council meeting, the following motion was passed:

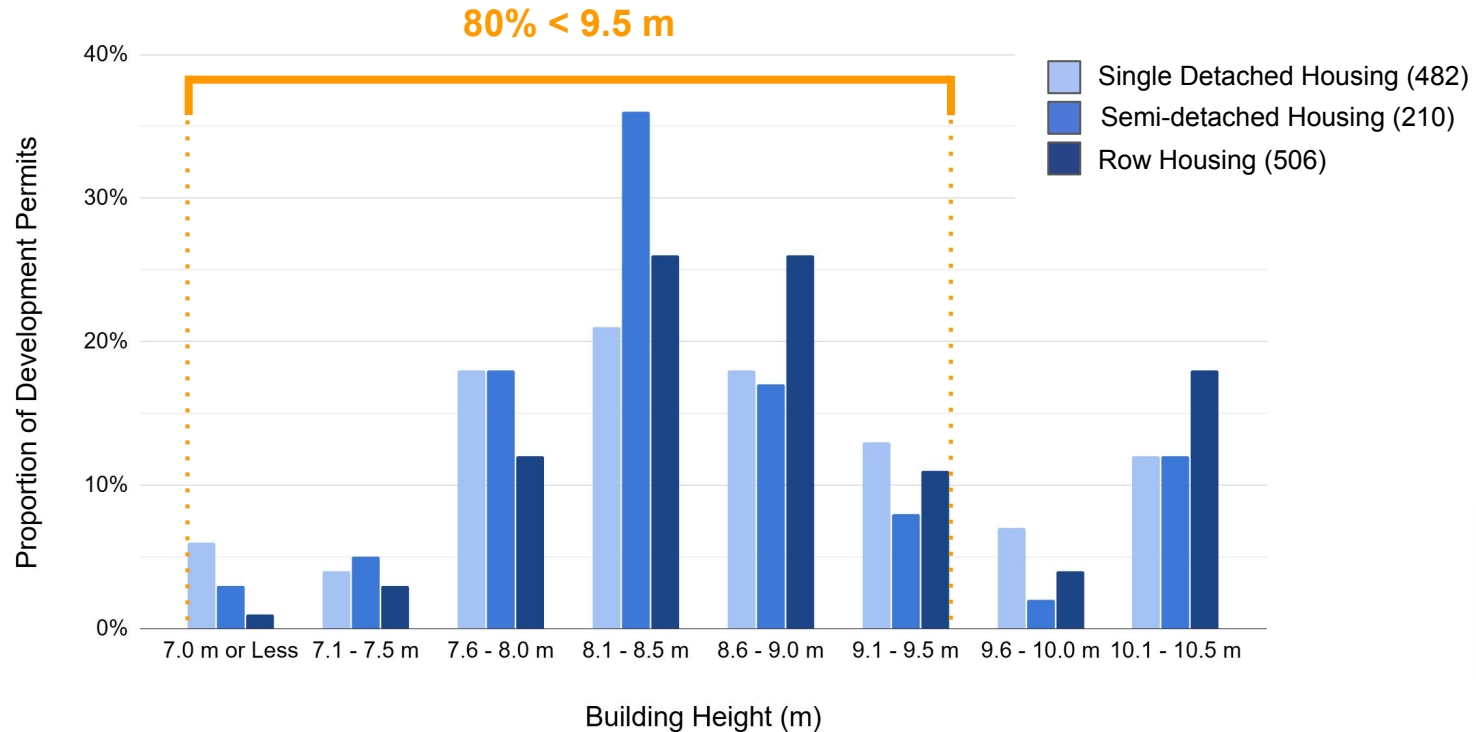
- *That Administration prepare amendments to the Zoning Bylaw, Section 2.10 RS - Small Scale Residential Zone to reduce the maximum building height (Section 4.1.6) to 9.5 metres and return to a future City Council Public Hearing.*

Proposed Change to the RS Zone - Maximum Height: Reduced from 10.5 m to 9.5 m

- Reduces overall building height and massing
- Maintains ability to develop 3-storey buildings
- Simple implementation



Building Height by Housing Type in the RS Zone: January 2024 - November 2025



Bylaw 21474

- Administration **supports** Bylaw 21474
- If approved, the proposed amendments would be **effective August 1, 2026**



Questions and Thank You