

RECOMMENDATION AND JUSTIFICATION

Administration is in **SUPPORT** of this application because it:

- will facilitate the development of a variety of low and medium density housing types;
- will facilitate the sequential and orderly development of the neighbourhood; and
- conforms with the Keswick Neighbourhood Structure Plan.

THE APPLICATION

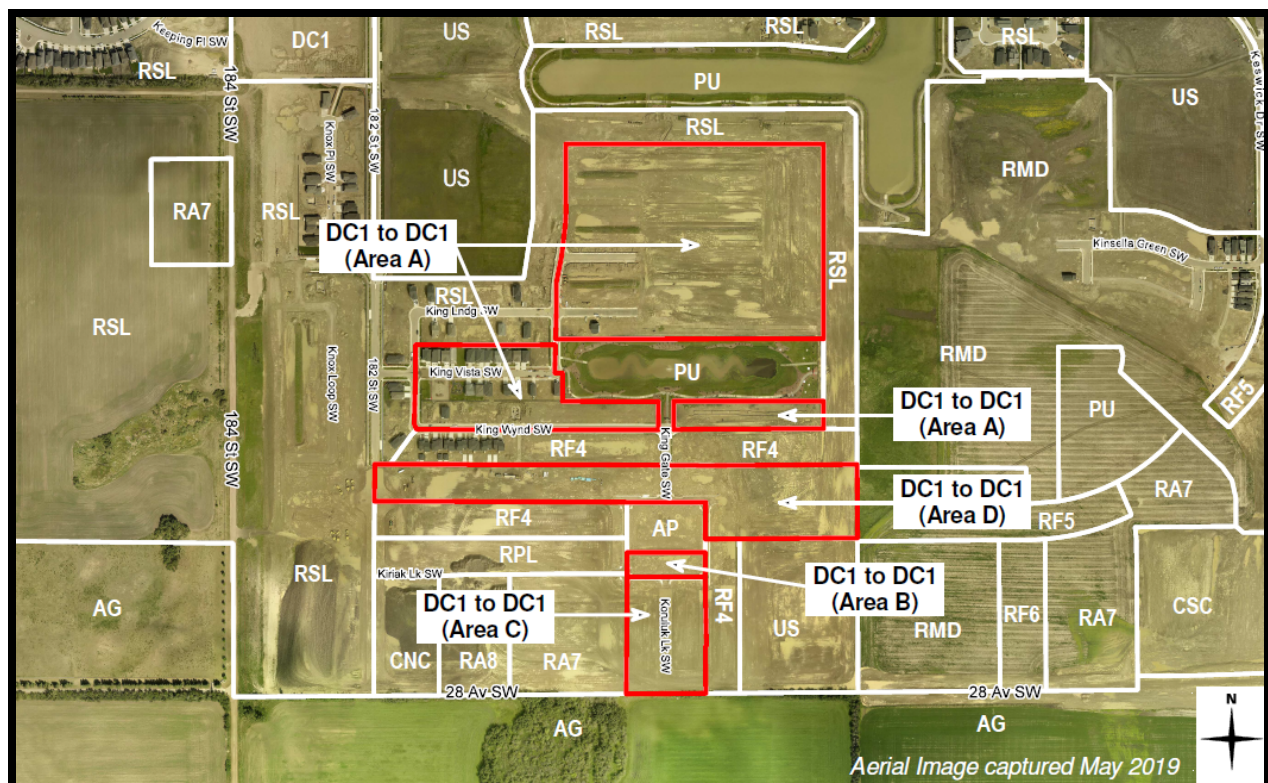
CHARTER BYLAW 19313 proposes to change the Zoning Bylaw from (DC1) Direct Development Control Provision to (DC1) Direct Development Control Provision.

The proposed DC1 Provision will combine two existing DC1s in the following ways:

- removing "Area D" from the approved DC1 (Bylaw 18301);
- combining "Area D" with the approved DC1 (Bylaw 17461);
- maintain the same list of Uses currently allowed in both DCs and adding Secondary Suites as new Use to Areas B and D; and
- perform administrative updates to the proposed new Provision.

Administration is currently processing and reviewing a subdivision within the subject area.

SITE AND SURROUNDING AREA



AERIAL VIEW OF APPLICATION AREA

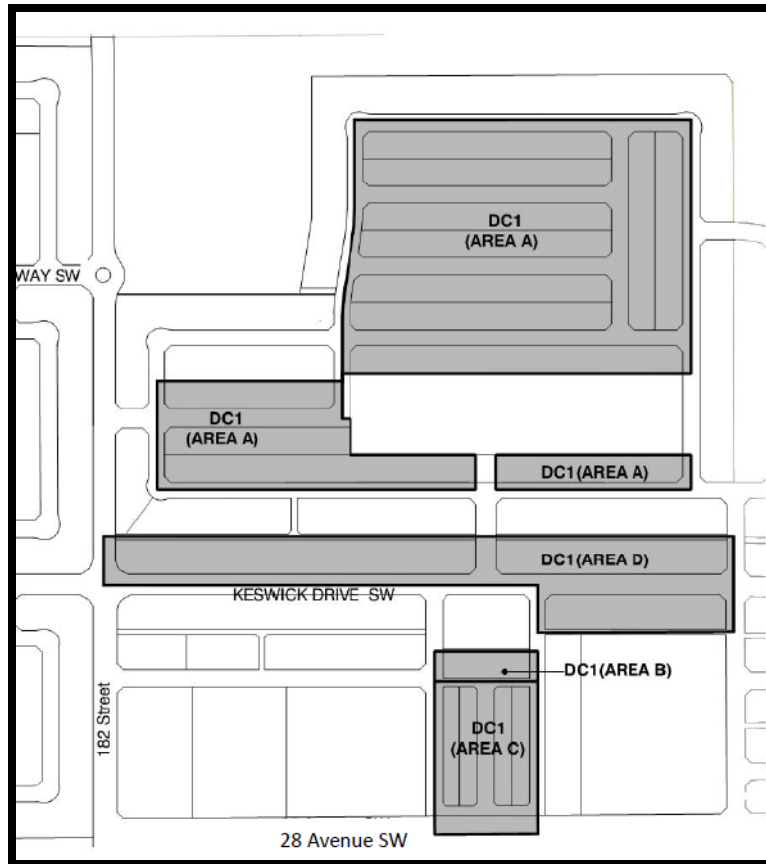
| | EXISTING ZONING | CURRENT USE |
|---------------------|---|--|
| SUBJECT SITE | (DC1) Direct Development Control Provision | Vacant/undeveloped land |
| CONTEXT | | |
| North | <ul style="list-style-type: none"> • (RSL) Residential Small Lot Zone • (PU) Public Utility Zone • (AP) Public Parks Zone | <ul style="list-style-type: none"> • Developing low density housing • Stormwater Management Facility • Undeveloped school/park site |
| East | <ul style="list-style-type: none"> • (RF4) Semi-detached Residential Zone • (RF5) Row Housing Zone • (RMD) Residential Mixed Use Zone • (PU) Public Utility Zone • (US) Urban Service Zone | <ul style="list-style-type: none"> • Undeveloped land • Undeveloped land • Undeveloped land • Stormwater Management Facility • Undeveloped land |
| South | (AG) Agricultural Zone | Vacant/undeveloped land |
| West | <ul style="list-style-type: none"> • (RSL) Residential Small Lot Zone • (RPL) Planned Lot Residential Zone • (RF4) Semi-detached Residential Zone • (RA7) Low Rise Apartment Zone | <ul style="list-style-type: none"> • Developing low density housing • Developing low density housing • Developing low density housing • Undeveloped land |

PLANNING ANALYSIS

LAND USE COMPATIBILITY

The proposed DC1 Provision will facilitate the following forms of development:

- Area "A": shallow lot single detached housing
- Area "B": semi-detached housing in a reverse-housing form and vehicular access from a lane.
- Area "C": shallow-lot, stacked row housing with front attached garages
- Area "D": shallow-lot row housing



Graphic illustrating proposed DC1 sub-areas (attached as Schedule "A" of this Charter Bylaw)

The proposed DC1 Provision will locate single detached housing (Area "A") adjacent to the district park site and the developed stormwater management facility, as well as existing RF4 and RSL zoned lands under development east of 182 Street SW.

Area "B" will allow for semi-detached housing in a reverse-housing format (fronting onto a park with rear attached garage). This area is located adjacent to existing RPL, RF4 and AP zoned lands, which are compatible with the regulations of the proposed DC1.

Higher density uses in Area "C", will allow for shallow lot, stacked row housing flanking a future arterial roadway (28 Avenue SW) and adjacent to another multi-unit site that is similarly designated for Low Rise/Multi-/Medium (density residential) uses.

Area "D" will allow for shallow-lot row housing, located along the roadway (Keswick Drive SW) and adjacent to existing land zoned RF4.

Furthermore, Charter Bylaw 19313 proposes to add "Secondary Suites" to the list of uses in sub-areas B and D above and will allow for a variety of housing types within the Keswick Neighborhood. The proposed rezoning will be compatible with the existing and planned surrounding residential development.

PLANS IN EFFECT

Charter Bylaw 19313 conforms to the Keswick Neighbourhood Structure Plan, which designates the lands for low density residential uses, row housing uses, and low rise/multi-/medium density residential uses.

TECHNICAL REVIEW

This application has been reviewed by all necessary City Departments and utility agencies. The proposed change in land use can be accommodated by the planned civic and utility infrastructure. All comments from affected City Departments and utility agencies have been addressed.

PUBLIC ENGAGEMENT

| | |
|---|--|
| ADVANCE NOTICE March 24, 2020 | <ul style="list-style-type: none">• Number of recipients: 57• No responses received |
| PUBLIC MEETING | <ul style="list-style-type: none">• Not held |
| WEBPAGE | <ul style="list-style-type: none">• edmonton.ca/keswick |

Advance Notice was sent to surrounding property owners and the president of the Greater Windermere Community League on March 24, 2020. One email of concern was received opposing the addition of Secondary Suites as it will cause traffic congestion and off street parking is inadequate within the area.

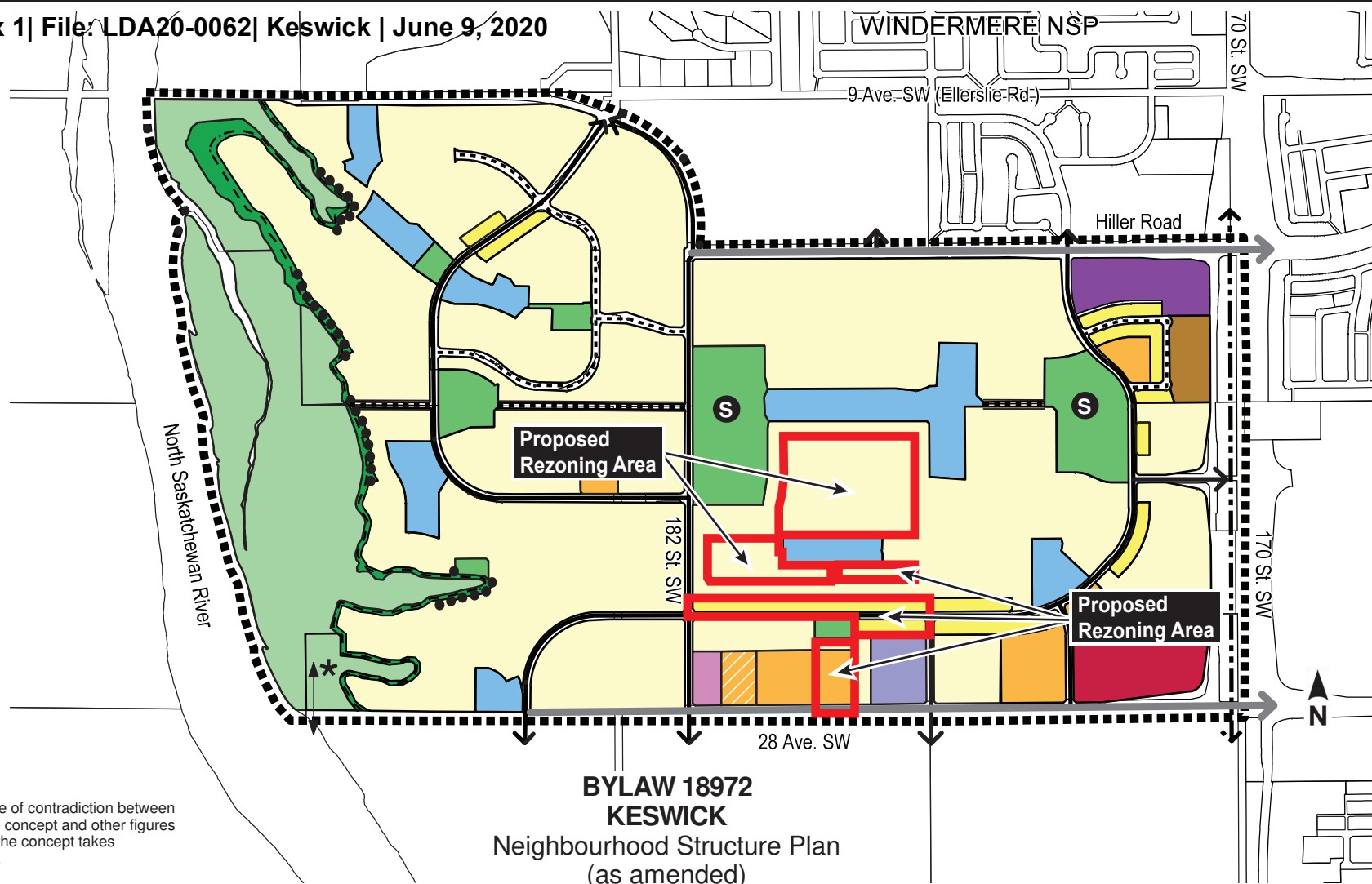
Planning Coordination (Transportation) has reviewed the proposed application and has advised there are no concerns regarding the addition of Secondary Use to the subject site. Furthermore, the proposed DC1 Provision is based on the RSL Zone which allows for Secondary Suites within Single Detached Housing, Semi-Detached Housing or Duplex Housing.

CONCLUSION










Administration recommends that City Council **APPROVE** this application.

APPENDICES

- 1 Context Plan Map
- 2 DC1 Track Changes Bylaw 17461
- 3 DC1 Track Changes Bylaw 18301
- 4 Application Summary



Note: In case of contradiction between the land use concept and other figures in the plan, the concept takes precedence.

| | | | | | |
|--|--|---|--|---|--|
|  | Single/Semi-Detached Residential |  | Community Commercial |  | Top of Bank & Public Upland Area Interpreted by Aerial Photography |
|  | Low Rise/ Multi-/ Medium Units |  | Stormwater Management Facility |  | Top of Bank Roadway |
|  | Rowhouse |  | Park |  | 11.5m Enhanced Local Roadway Connection |
|  | Medium Rise Units |  | School and Community Park |  | Collector Roadway |
|  | High Rise Units |  | Public Upland Area |  | Arterial Roadway |
|  | Mixed Use - Institutional/ Residential |  | North Saskatchewan River Valley and Ravine |  | Urban Freeway |
|  | Mixed Use - Residential/Commercial |  | Major Pedestrian Linkage |  | NSP Boundary |
|  | Neighbourhood Commercial |  | Top of Bank Walkway | | |

Note: Location of collector roads and configuration of stormwater management facilities are subject to minor revisions during subdivision and rezoning of the neighbourhood and may not be developed exactly as illustrated..

**(DC1) DIRECT DEVELOPMENT CONTROL PROVISION
KESWICK**Bylaw 17461
December 14, 2015**(Area A)****1. General Purpose**

To provide for single detached housing uses on shallow lots with reduced prominence of garages along the streetscape, efficiently utilizing undeveloped suburban land.

2. Area of Application

This Provision shall apply to **the lands located** north of **28** Avenue SW and east of **182** Street SW, Keswick, as shown on Schedule "A" **and legally described on Schedule "B"**; attached to the Bylaw adopting this Provision and as identified on Appendix "2," attached.

3. Uses

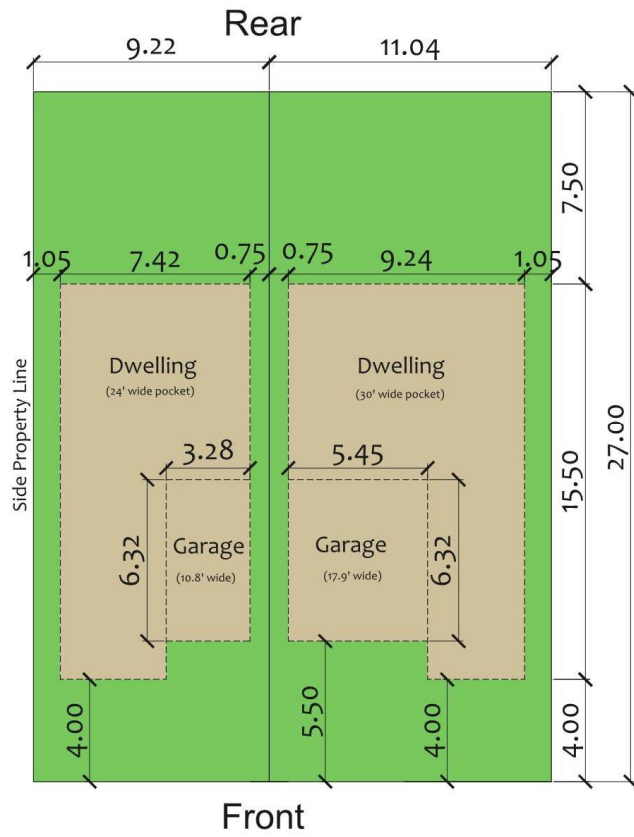
- a. Child Care Services
- b. Limited Group Home
- c. Minor Home Based Business
- d. Residential Sales Centre
- e. Single Detached Housing
- f. Fascia On-premises Signs

4. Development Regulations

- a. The Site shall be developed in general accordance with the example; provided in Appendix 1, attached.
- b. Except as expressly modified herein, the development regulations specified in Section 115 of the Zoning Bylaw for (RSL) Residential Small Lot Zone shall regulate development of Single Detached Housing in this Provision.
- c. Notwithstanding Section 44.3(a) of the Zoning Bylaw, projections of Platform Structures shall not exceed 3.1 m into Rear Setbacks with a depth of at least 4.5 m.
- d. The minimum Site area shall be 240 m².
- e. The minimum Site depth shall be 27 m.
- f. The minimum Site Width shall be 9.1 m.
- g. The minimum Front Setback shall be 4 m.
- h. Front facing Garages shall be Setback a minimum 5.5 m from the Front Lot Line.
- i. The minimum Side Setback shall be 1.05 m, except that:
 - i. the minimum Side Setback Abutting a public roadway other than a Lane shall be 2.4 m; and
 - ii. one Side Setback may be reduced to 0.75 m where the other Side Setback is a minimum of 1.05 m.
- j. For Side Setbacks that are less than 1.2 m in width, the following shall apply:
 - iii. A private maintenance easement for a minimum width of 0.75 m shall be provided and registered on each Abutting title of land to ensure adequate access to the easement area for maintenance of the adjacent property;
 - iv. Notwithstanding Section 44.2(a), eaves shall be Setback a minimum of 0.45 m from the property line; and
 - v. Fences, walls and gates shall not be permitted within the Side Yard, except where the Side Yard Abuts a public roadway other than a Lane.
- k. All roof leaders from buildings shall be connected to the storm sewer service.
- l. The maximum total Site Coverage shall not exceed 55%.
- ~~m. Signs shall comply with the regulations found in Schedule 59A.~~
- ~~n. Parking shall be in accordance with Section 54.~~
- ~~o. Landscaping shall be in accordance with Section 55.~~
- ~~p. Child Care Services shall be in accordance with Section 80.~~
- ~~q. Limited Group Homes shall be in accordance with Section 79.~~
- ~~r. Minor Home Based Businesses shall be in accordance with Section 74.~~
- ~~s. Residential Sales Centres shall be in accordance with Section 82.~~

Note: the **red** highlighted/ strikeout text denotes administrative updates, the **blue** highlighted text denotes the additional 'new' text and land uses between the existing DC1 and proposed DC1.

Setback and Development Regulations



For illustration purposes only

(Area B)

1. General Purpose

To provide for semi-detached residential housing whereby homes front onto a public park space and vehicular access is provided by a public lane, providing the opportunity for pedestrian-oriented development.

2. Area of Application

This Provision shall apply to the lands located north of 28 Avenue SW and east of 182 Street SW, Keswick, shown on Schedule "A" and legally described on Schedule "B"; attached to the Bylaw adopting this Provision and as identified on Appendix "2," attached.

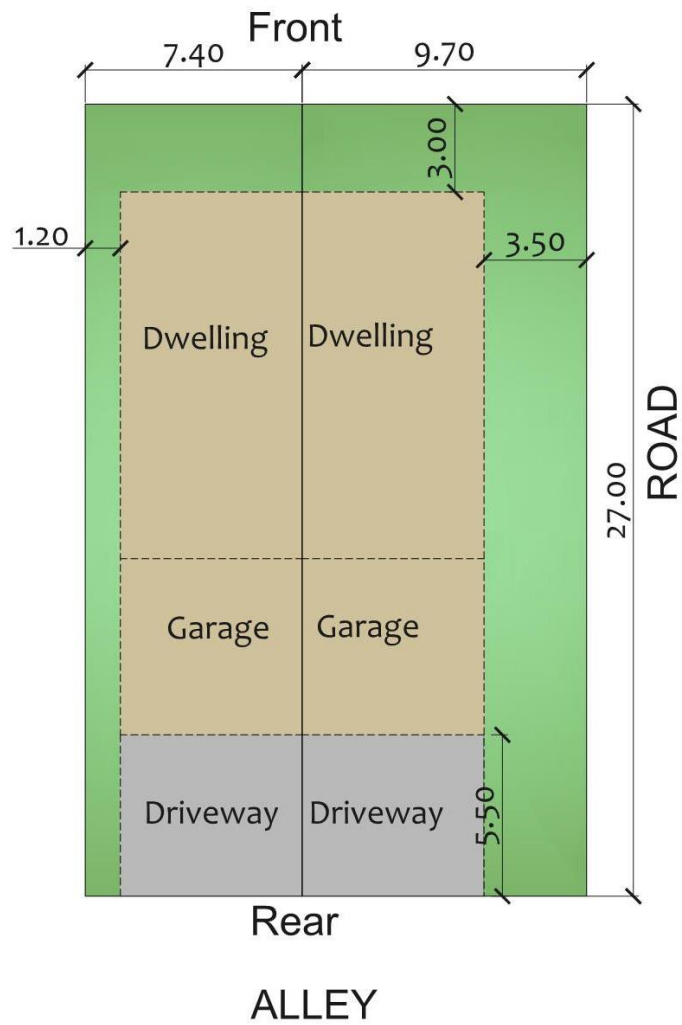
3. Uses

- a. Child Care Services
- b. Limited Group Home
- c. Minor Home Based Business
- d. Residential Sales Centre
- e. Secondary Suites
- e.f. Semi-detached Housing
- g. Fascia On-premises Signs

4. Development Regulations

- a. The Site shall be developed in general accordance with the example provided in Appendix I, attached.
- b. Except as expressly modified herein, the development regulations specified in Section 150 of the Zoning Bylaw for (RF4) Semi-detached Residential Zone shall regulate development of Semi-detached Housing in this Provision.
- c. The minimum Site area shall be 195 m².
- d. The minimum Site depth shall be 27 m.
- e. The minimum Site Width shall be 7.4 m.
- f. The minimum Front Setback shall be 3 m.
- g. The minimum Rear Setback Abutting the Lane shall be 5.5m.
- h. The minimum Side Setback shall be 1.2 m, except that:
 - i. the minimum Side Setback Abutting a public roadway other than a Lane shall be 3.5 m; and
 - j. the Side Setback along a common wall shall be 0 m.
- k. All roof leaders from buildings shall be connected to the storm sewer service.
- l. The maximum Height shall not exceed 12.0 m.
- m. The maximum total Site Coverage shall not exceed 55%.
- ~~n. Signs shall comply with the regulations found in Schedule 59A.~~
- ~~o. Parking shall be in accordance with Section 54.~~
- ~~p. Landscaping shall be in accordance with Section 55.~~
- ~~q. Child Care Services shall be in accordance with Section 80.~~
- ~~r. Limited Group Homes shall be in accordance with Section 79.~~
- ~~s. Minor Home Based Businesses shall be in accordance with Section 74.~~
- ~~t. Residential Sales Centres shall be in accordance with Section 82.~~

**Appendix 1: Area “B” Setbacks and Development
Regulations**



*For illustrative purposes only.

(Area C)

1. General Purpose

To provide for residential development with front attached garages, in the form of back to back attached stacked row housing on small lots.

2. Area of Application

This Provision shall apply to the lands located north of 28 Avenue SW and east of 182 Street SW, Keswick, as shown on Schedule "A" and legally described on Schedule "B" attached to the Bylaw adopting this Provision and as identified on Appendix "2," attached.

3. Uses

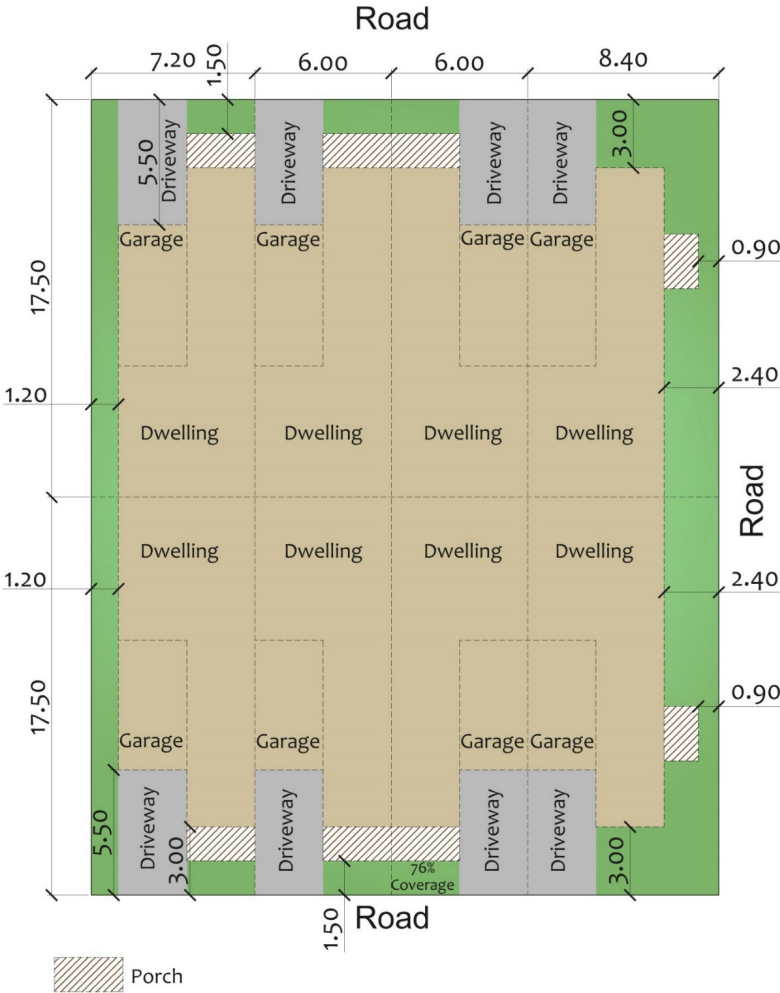
- a. Child Care Services
- b. Limited Group Home
- c. Minor Home Based Business
- d. Residential Sales Centre
- e. Stacked Row Housing
- f. Fascia On-premises Signs

4. Development Regulations

- a. The Site shall be developed in general accordance with the example provided in Appendix I, attached.
- b. Except as expressly modified herein, the development regulations specified in Section 170 of the Zoning Bylaw for (RF6) Medium Density Multiple Family Zone shall regulate development of Stacked Row Housing in this Provision.
- c. The minimum Site area shall be 70 m² per individual Lot.
- d. The minimum Site Width per individual Lot shall be:
 - i. Interior unit: 6.0 m per Dwelling;
 - ii. End unit: 7.2 m per Dwelling; and
 - iii. End corner unit: 8.4 m per Dwelling.
- e. The minimum Front Setback shall be 3 m.
 - i. Notwithstanding the above:
 - a. an unenclosed front porch may encroach 1.5 m into the Front Setback;
 - b. stairs from an unenclosed front porch are permitted to encroach into the Front Yard, but at no time shall encroach over the property line; and
 - c. bay windows may project a maximum of 0.6 m into the Front Yard with an additional projection of 0.4 m for eaves and gutters.

- f. The minimum Side Setback shall be as follows:
 - i. 1.2m except where a Side Yard Abuts a flanking public roadway; and
 - ii. 2.4m where the Side Yard Abuts a flanking public roadway;
 - iii. Notwithstanding 4.e.i. and 4.e.ii., where two Dwellings are connected at the property line, there shall be no Setback between the Dwellings.
 - iv. Notwithstanding the above:
 - a. an unenclosed front porch may encroach 0.9 m into the Side Setback;
 - b. stairs from an unenclosed front porch are permitted to encroach into the Side Setback, but at no time shall encroach over the property line; and
 - c. bay windows may project a maximum of 0.6 m into the street side of an end corner unit Side Yard with an additional projection of 0.4 m for eaves and gutters.
- g. Dwellings are intended to be attached at the rear as well as at the sides. It is understood that where 2 Dwellings are connected at the rear of the Dwelling at a property line, there will be no Setback between the Dwellings.
- h. The maximum Height shall not exceed 12.5 m.
- i. The maximum total Site Coverage per individual Lot shall not exceed 91%.
- j. A minimum of 13 m² of Private Outdoor Amenity Area shall be provided, inclusive of deck/balcony and enclosed front porch, and shall be allowed within a Front Setback.
- k. Site Landscaping shall be developed in accordance with Section 55 of the Zoning Bylaw.
- l. All roof leaders from buildings are to be connected to the storm sewer service.
- m. Additional requirements:
 - i. The ratio between the front face exposure of the Garage and the remainder of the front of the principal building shall not exceed 2:1;
 - ii. Garage doors should be designed to contain architectural elements that complement the character of the principle building. They shall be recessed or highly articulated; and
 - iii. Front facing Garages shall be Setback a minimum of 5.5m from the Front property line.
- n. A minimum of 2 parking spaces per Dwelling shall be required. A tandem parking space on a driveway within the Front Setback shall be allowed as a second parking space.
- o. Signs shall comply with the regulations found in Schedule 59A.
- p. Parking shall be in accordance with to Section 54, except that there shall be no requirement for visitor parking stalls.
- q. Landscaping shall be in accordance with the following:
 - i. all Yards visible from a public roadway shall be seeded or sodded within 18 consecutive months of occupancy of the unit;
 - ii. alternate forms of landscaping, including hard decorative pavers, washed gravel, or similar treatments, flower beds or cultivated gardens, may be substituted for seeding or sodding, providing that all area of exposed earth are designed as either flower beds or cultivated gardens, to the satisfaction of the Development Officer; and
 - iii. one deciduous or one coniferous tree, and two shrubs shall be required for every Front Yard which is 4.5 m in depth or greater.
- ~~r. Child Care Services shall be in accordance with Section 80.~~
- ~~s. Limited Group Homes shall be in accordance with Section 79.~~
- ~~t. Minor Home Based Businesses shall be in accordance with Section 74.~~

Appendix 1: Area "C" **Setbacks and Development Regulations**



*For illustrative purposes only.

New Area added to the DC

(Area D)

General Purpose

To provide for **ground oriented housing** with slightly increased site coverage than the regulations found within the RF5 Row Housing Zone.

2. Area of Application

This Provision shall apply to **the lands located north of 28 Avenue SW and east of 182 Street SW**, Keswick, as shown on Schedule "A" **and legally described on Schedule "B"**; attached to the Bylaw adopting this Provision.

3. Uses

- a. Minor Home Based Business
- b. Major Home Based Business
- c. **Multi-unit Housing**
- d. Residential Sales Center
- e. **Secondary Suites**
- f. Urban Gardens
- g. Urban Outdoor Farms
- h. Fascia On-premises Signs

4. Development Regulations

- a. Site Area and Site Dimensions for individual Dwellings shall be in accordance with the following:

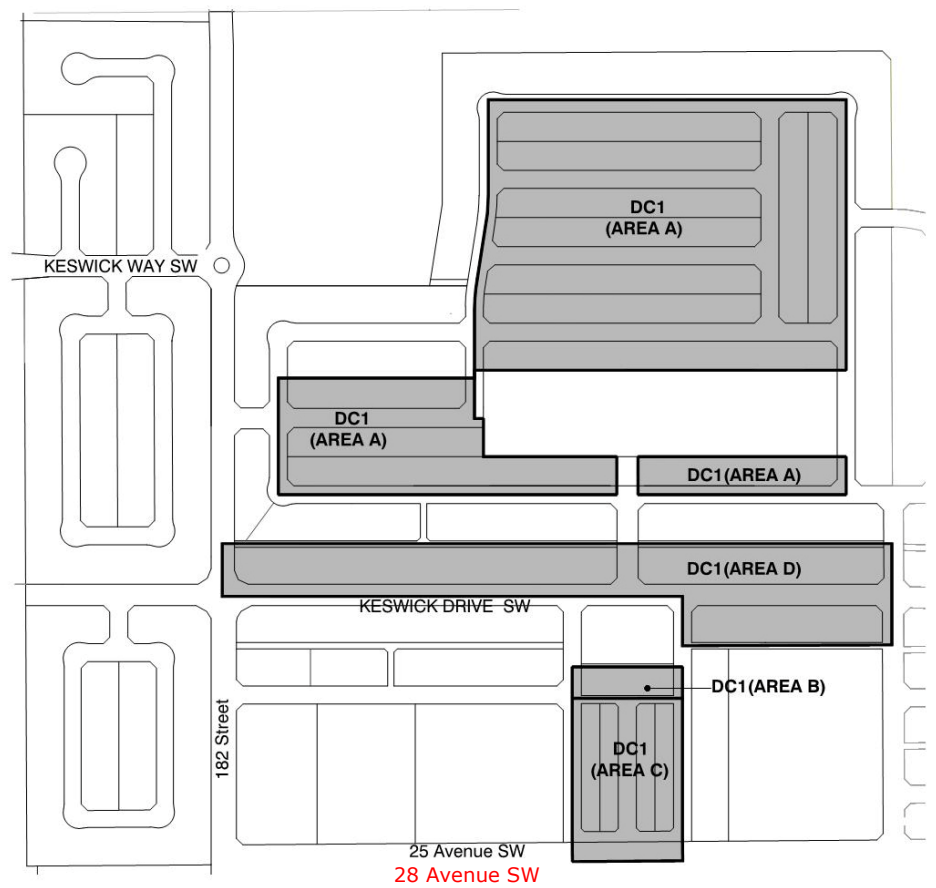
| | Minimum Site Area | Minimum Site Width | Minimum Site Depth |
|-------------------------------|-------------------|--------------------|--------------------|
| Row Housing internal Dwelling | 150 m2 | 5.0 m | 30.0 m |
| Row Housing end Dwelling | 186 m2 | 6.2 m | 30.0 m |

- b. The maximum Height shall not exceed 12.0 m.
- c. The maximum total Site Coverage shall be as follows:

| | Principal Dwelling/ building | Accessory building | Principal building with attached Garage or where parking is provided underground |
|---------------------------------|---------------------------------|--------------------|--|
| Row Housing – internal Dwelling | 42% | 20% | 62% |
| Row Housing – end Dwelling | 37% | 17% | 54% |
| Row Housing – corner Dwelling | 34% | 18% | 52% |

- d. The minimum Front Setback shall be 4.5 m, except that:
 - i. The minimum Front Setback shall be 3.0 m when a Treed Landscaped Boulevard is provided at the front of the Lot and vehicular access is from a Lane; and
 - ii. The minimum distance between the Front Lot Line and the door of an attached Garage shall be 5.5 m.
- e. The minimum Rear Setback shall be 7.5 m, except the Rear Yard may be reduced to 5.5 m where an attached Garage is provided.
- f. Minimum Side Setbacks shall be provided, on the following basis:
 - i. 1.2 m excepting a Side Yard abutting a flanking roadway; and
 - ii. 2.4 m where the Side Yard abuts a flanking public roadway other than a Lane.
- g. Separation Space shall not be required:
 - i. where side walls of abutting buildings face each other and habitable windows are not located directly opposite each other, such that privacy is not impacted and:
 - A. in the case of Dwellings on separate Sites, each development complies with the minimum Side Setback requirements for each Dwelling;
 - B. in the case of Dwellings on the same Site, the separation distance between Dwellings is at least equal to the total of the minimum Side Setback requirements for both Dwellings.
- h. Minimum Private Outdoor Amenity Areas shall be provided as follows:
 - i. a minimum of 30 m² per Dwelling unit, at Grade, shall be provided; and
 - ii. the Outdoor Amenity Area shall be permanently retained as open space, unencumbered by an Accessory building or future additions.
- i. The Development Officer may require registration of maintenance and/or drainage and utility easement(s) on title in areas abutting buildings and/or through private yards to ensure adequate access for property, drainage and utility maintenance prior to Development Permit issuance.
- j. Front attached Garages shall not be permitted where a Site or a Lot has vehicular access from a Lane.
- k. Where detached rear parking Garages are developed, the maximum width of the building containing the Garage(s) shall not exceed 24 m.
- l. No outdoor parking, trash collection or outdoor storage areas shall be developed within 3.0 m of any property line that abuts a Site zoned to allow Single Detached Housing as a Permitted Use.
- m. Each Dwelling within Row Housing shall be individually defined through a combination of architectural features that may include variations in the rooflines, projection or recession of the Façade, porches or entrance features, building materials, or other treatments.

- n. On Corner Sites the Façades of a principal building abutting the Front Lot Line and flanking Side Lot Line shall use consistent building materials and architectural features, and shall include features such as windows, doors, or porches.
- o. Site design for Row Housing developments of six or more attached Dwellings shall include entry transitions such as steps, decorative Fences, gates, hedges, low walls, and planting beds in the Front Yard.
- p. Each Dwelling shall have an entrance door or entrance feature facing a public roadway, other than a Lane. On Corner Sites, the entrance door or entrance feature may face either the Front Lot Line or the flanking Side Lot Line.
- q. Signs shall comply with the regulations found in Schedule 59A of the Zoning Bylaw.



changed 25 Avenue SW to 28 Avenue SW

| Address | Legal | From | To |
|----------------------|---------------|------|-----|
| 1703 - 184 STREET SW | SW 21-51-25-4 | DC1 | DC1 |

Area A

| Address | Legal | From | To |
|------------------------|--------------------------------|------|-----|
| 6440 - KING WYND SW | Lot 43, Block 5, Plan 1920145 | DC1 | DC1 |
| 6442 - KING WYND SW | Lot 42, Block 5, Plan 1920145 | DC1 | DC1 |
| 6444 - KING WYND SW | Lot 41, Block 5, Plan 1920145 | DC1 | DC1 |
| 6446 - KING WYND SW | Lot 40, Block 5, Plan 1920145 | DC1 | DC1 |
| 6448 - KING WYND SW | Lot 39, Block 5, Plan 1920145 | DC1 | DC1 |
| 6450 - KING WYND SW | Lot 38, Block 5, Plan 1920145 | DC1 | DC1 |
| 6452 - KING WYND SW | Lot 37, Block 5, Plan 1920145 | DC1 | DC1 |
| 6454 - KING WYND SW | Lot 36, Block 5, Plan 1920145 | DC1 | DC1 |
| 6456 - KING WYND SW | Lot 35, Block 5, Plan 1920145 | DC1 | DC1 |
| 6458 - KING WYND SW | Lot 34, Block 5, Plan 1920145 | DC1 | DC1 |
| 6460 - KING WYND SW | Lot 33, Block 5, Plan 1920145 | DC1 | DC1 |
| 6462 - KING WYND SW | Lot 32, Block 5, Plan 1920145 | DC1 | DC1 |
| 6464 - KING WYND SW | Lot 31, Block 5, Plan 1920145 | DC1 | DC1 |
| 6466 - KING WYND SW | Lot 30, Block 5, Plan 1920145 | DC1 | DC1 |
| 6468 - KING WYND SW | Lot 29, Block 5, Plan 1920145 | DC1 | DC1 |
| 6470 - KING WYND SW | Lot 28, Block 5, Plan 1723517 | DC1 | DC1 |
| 6472 - KING WYND SW | Lot 27, Block 5, Plan 1723517 | DC1 | DC1 |
| 6474 - KING WYND SW | Lot 26, Block 5, Plan 1723517 | DC1 | DC1 |
| 6476 - KING WYND SW | Lot 25, Block 5, Plan 1723517 | DC1 | DC1 |
| 6478 - KING WYND SW | Lot 24, Block 5, Plan 1723517 | DC1 | DC1 |
| 6480 - KING WYND SW | Lot 23, Block 5, Plan 1723517 | DC1 | DC1 |
| 6482 - KING WYND SW | Lot 22, Block 5, Plan 1723517 | DC1 | DC1 |
| 6484 - KING WYND SW | Lot 21, Block 5, Plan 1723517 | DC1 | DC1 |
| 6486 - KING WYND SW | Lot 20, Block 5, Plan 1723517 | DC1 | DC1 |
| 6488 - KING WYND SW | Lot 19, Block 5, Plan 1723517 | DC1 | DC1 |
| 6490 - KING WYND SW | Lot 18, Block 5, Plan 1723517 | DC1 | DC1 |
| 6065 - KING LANDING SW | Lot 45, Block 5, Plan 1920109 | DC1 | DC1 |
| 6063 - KING LANDING SW | Lot 46, Block 5, Plan 1920109 | DC1 | DC1 |
| 6061 - KING LANDING SW | Lot 47, Block 5, Plan 1920109 | DC1 | DC1 |
| 6059 - KING LANDING SW | Lot 48, Block 5, Plan 1920109 | DC1 | DC1 |
| 6057 - KING LANDING SW | Lot 49, Block 5, Plan 1920109 | DC1 | DC1 |
| 6055 - KING LANDING SW | Lot 50, Block 5, Plan 1920109 | DC1 | DC1 |
| 6053 - KING LANDING SW | Lot 51, Block 5, Plan 1920109 | DC1 | DC1 |
| 6051 - KING LANDING SW | Lot 52, Block 5, Plan 1920109 | DC1 | DC1 |
| 6064 - KING LANDING SW | Lot 9, Block 10, Plan 1920109 | DC1 | DC1 |
| 6062 - KING LANDING SW | Lot 10, Block 10, Plan 1920109 | DC1 | DC1 |
| 6060 - KING LANDING SW | Lot 11, Block 10, Plan 1920109 | DC1 | DC1 |
| 6058 - KING LANDING SW | Lot 12, Block 10, Plan 1920109 | DC1 | DC1 |
| 6056 - KING LANDING SW | Lot 13, Block 10, Plan 1920109 | DC1 | DC1 |
| 6054 - KING LANDING SW | Lot 14, Block 10, Plan 1920109 | DC1 | DC1 |
| 6052 - KING LANDING SW | Lot 15, Block 10, Plan 1920109 | DC1 | DC1 |
| 6050 - KING LANDING SW | Lot 16, Block 10, Plan 1920109 | DC1 | DC1 |

Area A

| Address | Legal | From | To |
|------------------------|-------------------------------|-------------|-----------|
| 6245 - KING VISTA SW | Lot 1, Block 5, Plan 1723517 | DC1 | DC1 |
| 6243 - KING VISTA SW | Lot 2, Block 5, Plan 1723517 | DC1 | DC1 |
| 6241 - KING VISTA SW | Lot 3, Block 5, Plan 1723517 | DC1 | DC1 |
| 6239 - KING VISTA SW | Lot 4, Block 5, Plan 1723517 | DC1 | DC1 |
| 6237 - KING VISTA SW | Lot 5, Block 5, Plan 1723517 | DC1 | DC1 |
| 6235 - KING VISTA SW | Lot 6, Block 5, Plan 1723517 | DC1 | DC1 |
| 6233 - KING VISTA SW | Lot 7, Block 5, Plan 1723517 | DC1 | DC1 |
| 6231 - KING VISTA SW | Lot 8, Block 5, Plan 1723517 | DC1 | DC1 |
| 6229 - KING VISTA SW | Lot 9, Block 5, Plan 1723517 | DC1 | DC1 |
| 6227 - KING VISTA SW | Lot 10, Block 5, Plan 1723517 | DC1 | DC1 |
| 6225 - KING VISTA SW | Lot 11, Block 5, Plan 1723517 | DC1 | DC1 |
| 6223 - KING VISTA SW | Lot 12, Block 5, Plan 1723517 | DC1 | DC1 |
| 6221 - KING VISTA SW | Lot 13, Block 5, Plan 1723517 | DC1 | DC1 |
| 6219 - KING VISTA SW | Lot 14, Block 5, Plan 1723517 | DC1 | DC1 |
| 6217 - KING VISTA SW | Lot 15, Block 5, Plan 1723517 | DC1 | DC1 |
| 6215 - KING VISTA SW | Lot 16, Block 5, Plan 1723517 | DC1 | DC1 |
| 6246 - KING VISTA SW | Lot 29, Block 4, Plan 1723517 | DC1 | DC1 |
| 6244 - KING VISTA SW | Lot 28, Block 4, Plan 1723517 | DC1 | DC1 |
| 6242 - KING VISTA SW | Lot 27, Block 4, Plan 1723517 | DC1 | DC1 |
| 6240 - KING VISTA SW | Lot 26, Block 4, Plan 1723517 | DC1 | DC1 |
| 6238 - KING VISTA SW | Lot 25, Block 4, Plan 1723517 | DC1 | DC1 |
| 6236 - KING VISTA SW | Lot 24, Block 4, Plan 1723517 | DC1 | DC1 |
| 6234 - KING VISTA SW | Lot 23, Block 4, Plan 1723517 | DC1 | DC1 |
| 6232 - KING VISTA SW | Lot 22, Block 4, Plan 1723517 | DC1 | DC1 |
| 6230 - KING VISTA SW | Lot 21, Block 4, Plan 1723517 | DC1 | DC1 |
| 6228 - KING VISTA SW | Lot 20, Block 4, Plan 1723517 | DC1 | DC1 |
| 6226 - KING VISTA SW | Lot 19, Block 4, Plan 1723517 | DC1 | DC1 |
| 6224 - KING VISTA SW | Lot 18, Block 4, Plan 1723517 | DC1 | DC1 |
| 6222 - KING VISTA SW | Lot 17, Block 4, Plan 1723517 | DC1 | DC1 |
| 6220 - KING VISTA SW | Lot 16, Block 4, Plan 1723517 | DC1 | DC1 |
| 5849 - KOOTOOK LINK SW | Lot 8, Block 10, Plan 1920109 | DC1 | DC1 |
| 5847 - KOOTOOK LINK SW | Lot 7, Block 10, Plan 1920109 | DC1 | DC1 |
| 5845 - KOOTOOK LINK SW | Lot 6 Block 10, Plan 1920109 | DC1 | DC1 |
| 5843 - KOOTOOK LINK SW | Lot 5, Block 10, Plan 1920109 | DC1 | DC1 |
| 5841 - KOOTOOK LINK SW | Lot 4, Block 10, Plan 1920109 | DC1 | DC1 |
| 5839 - KOOTOOK LINK SW | Lot 3, Block 10, Plan 1920109 | DC1 | DC1 |
| 5837 - KOOTOOK LINK SW | Lot 2, Block 10, Plan 1920109 | DC1 | DC1 |
| 5835 - KOOTOOK LINK SW | Lot 1, Block 10, Plan 1920109 | DC1 | DC1 |
| 5836 - KOOTOOK LINK SW | Lot 1, Block 11, Plan 1920109 | DC1 | DC1 |
| 5838 - KOOTOOK LINK SW | Lot 2, Block 11, Plan 1920109 | DC1 | DC1 |
| 5840 - KOOTOOK LINK SW | Lot 3, Block 11, Plan 1920109 | DC1 | DC1 |
| 5842 - KOOTOOK LINK SW | Lot 4, Block 11, Plan 1920109 | DC1 | DC1 |

| | | | |
|------------------------|-------------------------------|-----|-----|
| 5844 - KOOTOOK LINK SW | Lot 5, Block 11, Plan 1920109 | DC1 | DC1 |
| 5846 - KOOTOOK LINK SW | Lot 6, Block 11, Plan 1920109 | DC1 | DC1 |

| Address | Legal | From | To |
|-------------------------|--------------------------------|------|-----|
| Area B | | | |
| 7722 - KORULUK LANE SW | Lot 2, Block 9, Plan 1920145 | DC1 | DC1 |
| 7720 - KORULUK LANE SW | Lot 3, Block 9, Plan 1920145 | DC1 | DC1 |
| 7718 - KORULUK LANE SW | Lot 4, Block 9, Plan 1920145 | DC1 | DC1 |
| 7716 - KORULUK LANE SW | Lot 5, Block 9, Plan 1920145 | DC1 | DC1 |
| 7714 - KORULUK LANE SW | Lot 6, Block 9, Plan 1920145 | DC1 | DC1 |
| 7712 - KORULUK LANE SW | Lot 7, Block 9, Plan 1920145 | DC1 | DC1 |
| 7710 - KORULUK LANE SW | Lot 8, Block 9, Plan 1920145 | DC1 | DC1 |
| 7708 - KORULUK LANE SW | Lot 9, Block 9, Plan 1920145 | DC1 | DC1 |
| 7706 - KORULUK LANE SW | Lot 10, Block 9, Plan 1920145 | DC1 | DC1 |
| 7704 - KORULUK LANE SW | Lot 11, Block 9, Plan 1920145 | DC1 | DC1 |
| Area C | | | |
| 7626 - KORULUK PLACE SW | Lot 1, Block 16, Plan 1922748 | DC1 | DC1 |
| 7628 - KORULUK PLACE SW | Lot 2, Block 16, Plan 1922748 | DC1 | DC1 |
| 7630 - KORULUK PLACE SW | Lot 3, Block 16, Plan 1922748 | DC1 | DC1 |
| 7632 - KORULUK PLACE SW | Lot 4, Block 16, Plan 1922748 | DC1 | DC1 |
| 7634 - KORULUK PLACE SW | Lot 5, Block 16, Plan 1922748 | DC1 | DC1 |
| 7636 - KORULUK PLACE SW | Lot 6, Block 16, Plan 1922748 | DC1 | DC1 |
| 7638 - KORULUK PLACE SW | Lot 7, Block 16, Plan 1922748 | DC1 | DC1 |
| 7640 - KORULUK PLACE SW | Lot 8, Block 16, Plan 1922748 | DC1 | DC1 |
| 7642 - KORULUK PLACE SW | Lot 9, Block 16, Plan 1922748 | DC1 | DC1 |
| 7644 - KORULUK PLACE SW | Lot 10, Block 16, Plan 1922748 | DC1 | DC1 |
| 7646 - KORULUK PLACE SW | Lot 11, Block 16, Plan 1922748 | DC1 | DC1 |
| 7648 - KORULUK PLACE SW | Lot 12, Block 16, Plan 1922748 | DC1 | DC1 |
| 7650 - KORULUK PLACE SW | Lot 13, Block 16, Plan 1922748 | DC1 | DC1 |
| 7652 - KORULUK PLACE SW | Lot 14, Block 16, Plan 1922748 | DC1 | DC1 |
| 7654 - KORULUK PLACE SW | Lot 15, Block 16, Plan 1922748 | DC1 | DC1 |
| 7803 - KORULUK LINK SW | Lot 16, Block 16, Plan 1922748 | DC1 | DC1 |
| 7805 - KORULUK LINK SW | Lot 17, Block 16, Plan 1922748 | DC1 | DC1 |
| 7807 - KORULUK LINK SW | Lot 18, Block 16, Plan 1922748 | DC1 | DC1 |
| 7809 - KORULUK LINK SW | Lot 19, Block 16, Plan 1922748 | DC1 | DC1 |
| 7811 - KORULUK LINK SW | Lot 20, Block 16, Plan 1922748 | DC1 | DC1 |
| 7813 - KORULUK LINK SW | Lot 21, Block 16, Plan 1922748 | DC1 | DC1 |
| 7815 - KORULUK LINK SW | Lot 22, Block 16, Plan 1922748 | DC1 | DC1 |
| 7817 - KORULUK LINK SW | Lot 23, Block 16, Plan 1922748 | DC1 | DC1 |
| 7819 - KORULUK LINK SW | Lot 24, Block 16, Plan 1922748 | DC1 | DC1 |
| 7821 - KORULUK LINK SW | Lot 25, Block 16, Plan 1922748 | DC1 | DC1 |
| 7823 - KORULUK LINK SW | Lot 26, Block 16, Plan 1922748 | DC1 | DC1 |
| 7825 - KORULUK LINK SW | Lot 27, Block 16, Plan 1922748 | DC1 | DC1 |
| 7827 - KORULUK LINK SW | Lot 28, Block 16, Plan 1922748 | DC1 | DC1 |
| 7829 - KORULUK LINK SW | Lot 29, Block 16, Plan 1922748 | DC1 | DC1 |
| 7831 - KORULUK LINK SW | Lot 30, Block 16, Plan 1922748 | DC1 | DC1 |

| Area D - Address | Legal | From | To |
|-------------------------|-------------------------------|-------------|-----------|
| 1394 - KESWICK DRIVE SW | Lot 55, Block 6, Plan 1920145 | DC1 | DC1 |
| 1392 - KESWICK DRIVE SW | Lot 54, Block 6, Plan 1920145 | DC1 | DC1 |
| 1390 - KESWICK DRIVE SW | Lot 53, Block 6, Plan 1920145 | DC1 | DC1 |
| 1388 - KESWICK DRIVE SW | Lot 52, Block 6, Plan 1920145 | DC1 | DC1 |
| 1386 - KESWICK DRIVE SW | Lot 51, Block 6, Plan 1920145 | DC1 | DC1 |
| 1384 - KESWICK DRIVE SW | Lot 50, Block 6, Plan 1920145 | DC1 | DC1 |
| 1382 - KESWICK DRIVE SW | Lot 49, Block 6, Plan 1920145 | DC1 | DC1 |
| 1380 - KESWICK DRIVE SW | Lot 48, Block 6, Plan 1920145 | DC1 | DC1 |
| 1374 - KESWICK DRIVE SW | Lot 1, Block 7, Plan 1920145 | DC1 | DC1 |
| 1372 - KESWICK DRIVE SW | Lot 2, Block 7, Plan 1920145 | DC1 | DC1 |
| 1370 - KESWICK DRIVE SW | Lot 3, Block 7, Plan 1920145 | DC1 | DC1 |
| 1368 - KESWICK DRIVE SW | Lot 4, Block 7, Plan 1920145 | DC1 | DC1 |
| 1366 - KESWICK DRIVE SW | Lot 5, Block 7, Plan 1920145 | DC1 | DC1 |
| 1364 - KESWICK DRIVE SW | Lot 6, Block 7, Plan 1920145 | DC1 | DC1 |
| 1362 - KESWICK DRIVE SW | Lot 7, Block 7, Plan 1920145 | DC1 | DC1 |

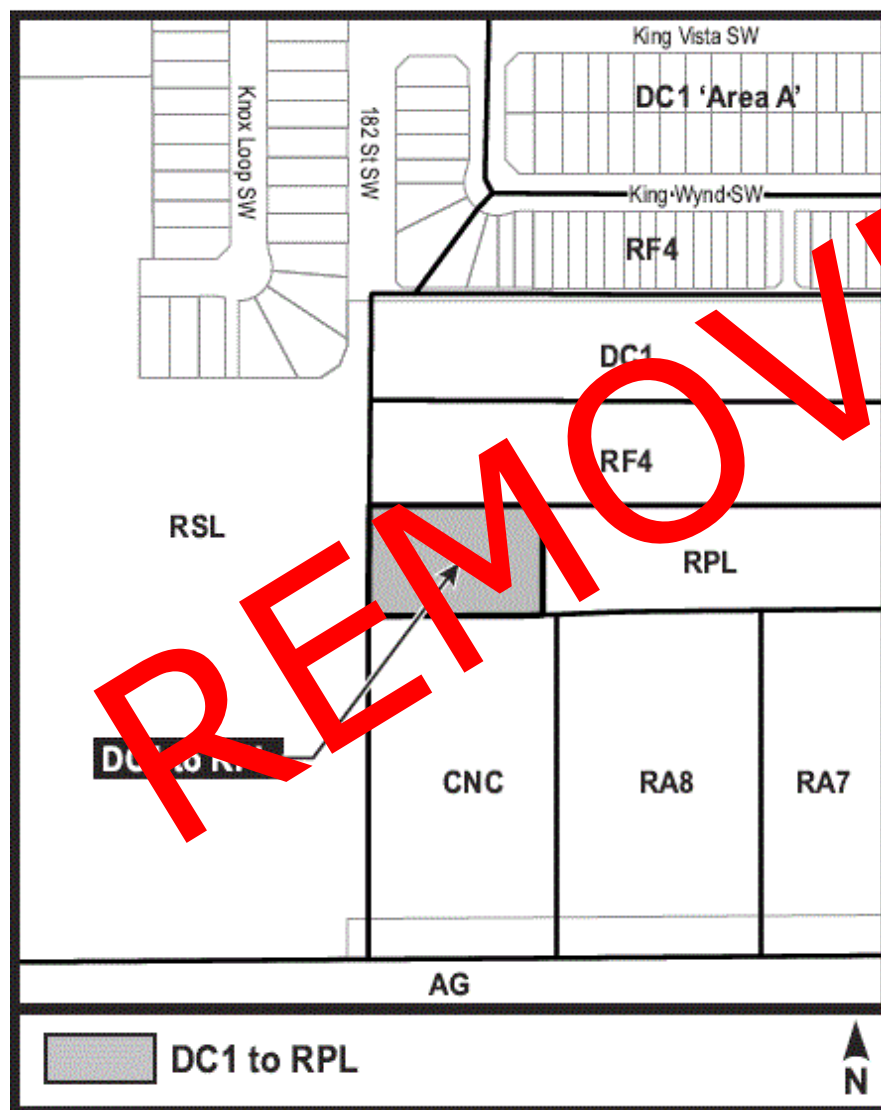
(DC1) DIRECT DEVELOPMENT CONTROL PROVISION KESWICK

(Bylaw 18301)

(DC1) Direct Development Control Provision Zone on Bylaw18301 was rezoned to (RPL) Planned Lot Residential Zone by Charter Bylaw 18973 on September 9, 2019.

*Charter Bylaw 18973
September 9, 2019*

CHARTER BYLAW 18973



1703 - 184 Street SW

1. General Purpose

To provide for Row Housing with slightly increased site coverage than the regulations found within the RF5 Row Housing Zone.

2. Area of Application

This Provision shall apply to a portion of SW ¼ 21-51-25W-4M west of 170 Street SW and north of 28 Avenue SW, Keswick, as shown on Schedule "A" attached to the Bylaw adopting this Provision.

3. Uses

- a. Minor Home Based Business
- b. Major Home Based Business
- c. Residential Sales Centre
- d. Row Housing
- e. Urban Gardens
- f. Urban Outdoor Farms
- g. Fascia On-premises Signs

4. Development Regulations

- a. Site Area and Site Dimensions for individual Dwellings shall be in accordance with the following:

| | Minimum Site Area | Minimum Site Width | Minimum Site Depth |
|-------------------------------|--------------------|--------------------|--------------------|
| Row Housing internal Dwelling | 150 m ² | 5.0 m | 30.0 m |
| Row Housing end Dwelling | 186 m ² | 6.2 m | 30.0 m |

- b. The maximum Height shall not exceed 12.0 m.
- c. The maximum total Site Coverage shall be as follows:

| | Principal Dwelling/ Building | Accessory building | Principal building with attached Garage or where parking is provided underground |
|------------------------------------|---------------------------------|--------------------|--|
| Row Housing – internal Dwelling | 42% | 20% | 62% |
| Row Housing – end Dwelling | 37% | 17% | 54% |
| Row Housing – corner Dwelling | 34% | 18% | 52% |

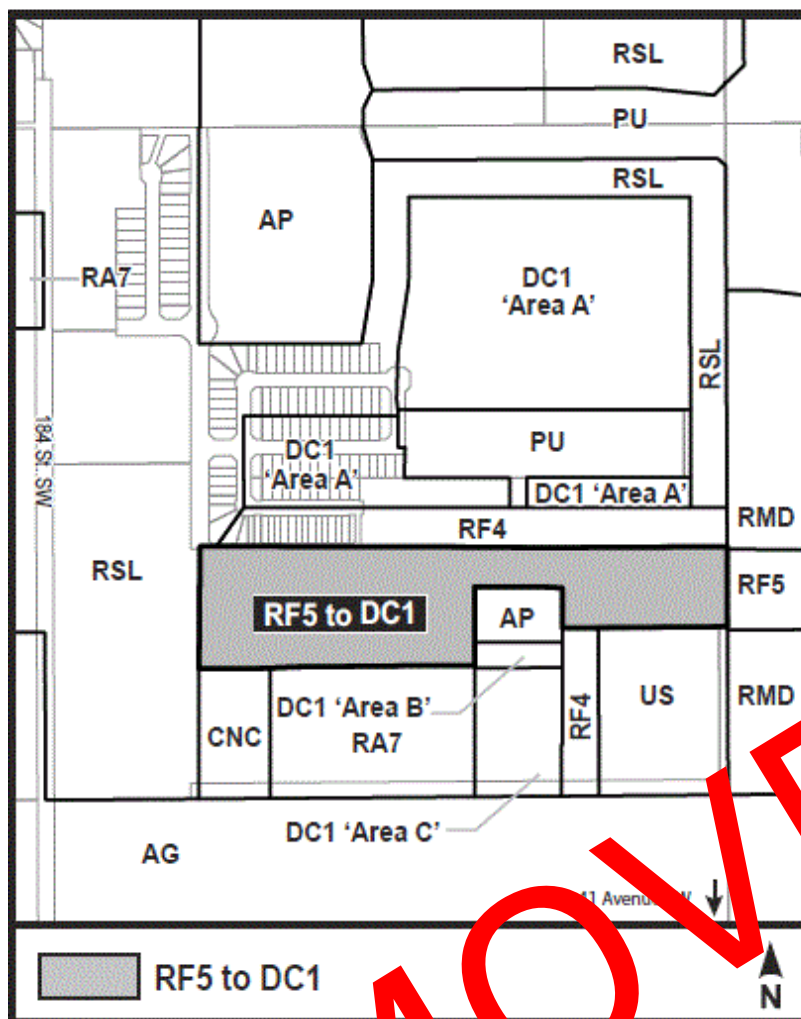
- d. The minimum Front Setback shall be 4.5 m, except that:
 - i. The minimum Front Setback shall be 3.0 m when a Treed Landscaped Boulevard is provided at the front of the Lot and vehicular access is from a Lane; and

- ii. The minimum distance between the Front Lot Line and the door of an attached Garage shall be 5.5 m.
- e. The minimum Rear Setback shall be 7.5 m, except the Rear Yard may be reduced to 5.5 m where an attached Garage is provided.
- f. Minimum Side Setbacks shall be provided, on the following basis:
 - i. 1.2 m excepting a Side Yard abutting a flanking roadway; and
 - ii. 2.4 m where the Side Yard abuts a flanking public roadway other than a Lane.
- g. Separation Space shall not be required:
 - i. where side walls of abutting buildings face each other and habitable windows are not located directly opposite each other, such that privacy is not impacted and:
 - A. in the case of Dwellings on separate Sites, each development complies with the minimum Side Setback requirements for each Dwelling;
 - B. in the case of Dwellings on the same Site, the separation distance between Dwellings is at least equal to the total of the minimum Side Setback requirements for both Dwellings.
- h. Minimum Private Outdoor Amenity Areas shall be provided as follows:
 - i. a minimum of 30 m² per Dwelling unit, at Grade shall be provided; and
 - ii. the Outdoor Amenity Area shall be permanently retained as open space, unencumbered by an Accessory building or future additions.
- i. The Development Officer may require registration of maintenance and/or drainage and utility easement(s) on title in areas abutting buildings and/or through private yards to ensure adequate access for property, drainage and utility maintenance prior to Development Permit issuance.
- j. Front attached Garages shall not be permitted where a Site or a Lot has vehicular access from a Lane.
- k. Where detached rear parking Garages are developed, the maximum width of the building containing the Garage(s) shall not exceed 24 m.
- l. No outdoor parking, trash collection or outdoor storage areas shall be developed within 2.0 m of any property line that abuts a Site zoned to allow Single Detached Housing as a Permitted Use.
- m. Each Dwelling within Row Housing shall be individually defined through a combination of architectural features that may include variations in the rooflines, projection or recession of the Façade, porches or entrance features, building materials, or other treatments.
- n. On Corner Sites the Façades of a principal building abutting the Front Lot Line and flanking Side Lot Line shall use consistent building materials and architectural features, and shall include features such as windows, doors, or porches.
- o. Site design for Row Housing developments of six or more attached Dwellings shall include entry transitions such as steps, decorative Fences, gates, hedges, low walls, and planting beds in the Front Yard.
- p. Each Dwelling shall have an entrance door or entrance feature facing a public roadway, other than a Lane. On Corner Sites, the entrance door or entrance feature may face either the Front Lot Line or the flanking Side Lot Line.

- q. Signs shall comply with the regulations found in Schedule 59A of the Zoning Bylaw.

SCHEDULE "A"

BYLAW 18301



REMOVED

APPLICATION SUMMARY

INFORMATION

| | |
|-------------------|--|
| Application Type: | Rezoning |
| Charter Bylaw: | 19313 |
| Location: | South of Hiller Road SW and East of 182 Street SW |
| Address: | <p>1703 - 184 Street NW</p> <p>Area A: 6440, 6442, 6444, 6446, 6448, 6450, 6452, 6454, 6456, 6458, 6460, 6462, 6464, 6466, 6468, 6470, 6472, 6474, 6476, 6478, 6480, 6482, 6484, 6486, 6488, 6490 - King Wynd SW</p> <p>6050, 6051, 6052, 6053, 6054, 6055, 6056, 6057, 6058, 6059, 6060, 6061, 6062, 6063, 6064, 6065, - King Landing SW</p> <p>6215, 6217, 6219, 6220, 6221, 6222, 6223, 6224, 6225, 6226, 6227, 6228, 6229, 6230, 6231, 6232, 6233, 6234, 6235, 6236, 6237, 6238, 6239, 6240, 6241, 6242, 6243, 6244, 6245 & 6246 - King Vista SW</p> <p>5835, 5836, 5837, 5838, 5839, 5840, 5841, 5842, 5843, 5844, 5845, 5846, 5847 & 5849 - Kootook Link SW</p> <p>Area B: 7704, 7706, 7708, 7710, 7712, 7714, 7716, 7718, 7720 & 7722 – Koruluk Lane SW</p> <p>Area C: 7626, 7628, 7630, 7632, 7634, 7636, 7638, 7640, 7642, 7644, 7646, 7648, 7650, 7652, 7654 - Koruluk Place SW</p> <p>7803, 7805, 7807, 7809, 7811, 7813, 7815, 7817, 7819, 7821, 7823, 7825, 7827, 7829 & 7831 - Koruluk Link SW</p> <p>Area D: 1362, 1364, 1366, 1388, 1370, 1372, 1374, 1380, 1382, 1384, 1386, 1388, 1390, 1392 & 1394 - Keswick Drive SW</p> |

| | |
|-------------------------------------|---|
| Legal Description: | Portions of SW 21-51-25-4 Area A: Lots 16 to 29, Block 4, Plan 1723517 Lots 1 to 16 and 18 to 28, Block 5, Plan 1723517 Lots 29 to 43 & 45 to 52, Block 5, Plan 1920145 Lots 1 to 8 & 9 to 16, Block 10, Plan 1920109 Lots 1 to 6, Block 11, Plan 1920109 Area B: Lots 2 to 11, Block 9, Plan 1920145 Area C: Lots 11 to 30, Block 16, Plan 1922748 Area D: Lots 48 to 55, Block 6, Plan 1920145 & Lots 1 to 7, Block 7, Plan 1920145 |
| Site Area: | 18 ha |
| Neighbourhood: | Keswick |
| Notified Community Organization(s): | Greater Windermere Community League |
| Applicant: | Om Joshi & Tanya McNeil, WSP |

PLANNING FRAMEWORK

| | |
|-------------------------------|--|
| Current Zone and Overlay(s): | (DC1) Direct Development Control Provision |
| Proposed Zone and Overlay(s): | (DC1) Direct Development Control Provision |
| Plans in Effect: | Windermere Area Structure Plan Keswick Neighbourhood Structure Plan |

Written By:
 Approved By:
 Branch:
 Section:

Vivian Gamache
 Tim Ford
 Development Services
 Planning Coordination