



ADMINISTRATION REPORT **REZONING** KILLARNEY

8604 - 130 AVENUE NW

To allow for small scale infill development.



RECOMMENDATION AND JUSTIFICATION

Administration is in **SUPPORT** of this application because it:

- provides the opportunity for increased density and housing choice in the Killarney community;
- is located in close proximity to transit service;
- provides sensitive transitions and setbacks to adjacent properties; and
- is located on a corner lot, where row housing developments are generally supported under the (RF3) Small Scale Infill Development Zone.

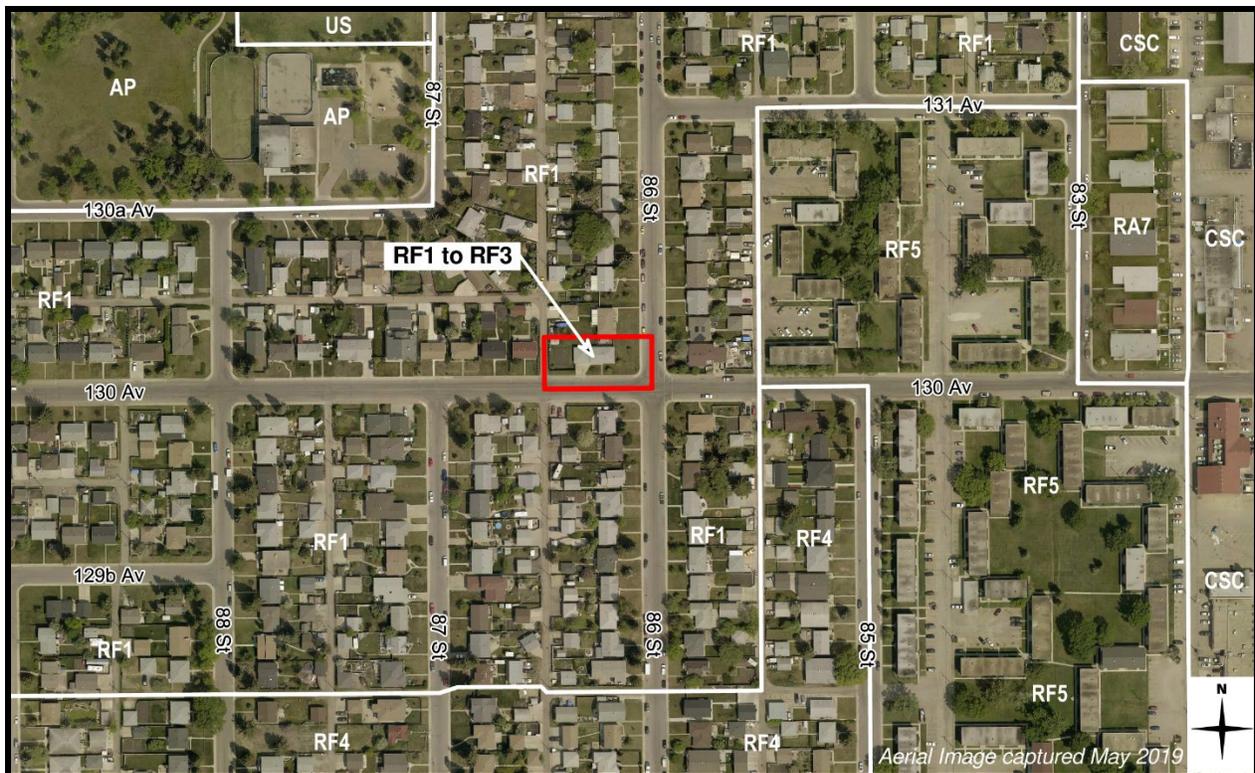
THE APPLICATION

CHARTER BYLAW 19253 proposes to rezone the subject site from (RF1) Single Detached Residential Zone to (RF3) Small Scale Infill Development Zone.

The purpose of the proposed (RF3) Zone is to provide for a mix of small scale housing such as Single Detached, Duplex, Semi-detached, and Multi-unit Housing. The rezoning would increase the potential number of principal dwellings on the site from 2 to approximately 3-5, depending on the future building design.

SITE AND SURROUNDING AREA

This site is a corner lot in the interior of the Killarney neighbourhood at the intersection of a collector road, 130 Avenue NW and a local road, 86 Street NW. The avenue south of the property is a transit route with a bus stop approximately 90 metres east of the subject site. The site is located approximately 300 metres, walking distance from Killarney Park which also houses St. Matthew Catholic Elementary School and the Killarney Community League.



AERIAL VIEW OF APPLICATION AREA

	EXISTING ZONING	CURRENT USE
SUBJECT SITE	(RF1) Single Detached Residential Zone	Single Detached House
CONTEXT		
North	(RF1) Single Detached Residential Zone	Single Detached House
East	(RF1) Single Detached Residential Zone	Single Detached House
South	(RF1) Single Detached Residential Zone	Single Detached House
West	(RF1) Single Detached Residential Zone	Single Detached House

PLANNING ANALYSIS

DENSITY

The applicant's intent is to develop a row housing style development. The (RF3) Zone also allows for Single Detached and Semi-detached Housing as well as Duplex Housing. While the (RF3) Zone has no density maximum, a minimum site area of 150 m² per principal dwelling is regulated for Duplex Housing, Semi-detached Housing, and Multi-unit Housing, controlling overdevelopment of the site. Based on the minimum site area per principal dwelling, five units could be developed. However, due practical limitations from parking, setback and amenity area requirements, the number of dwellings may be less.

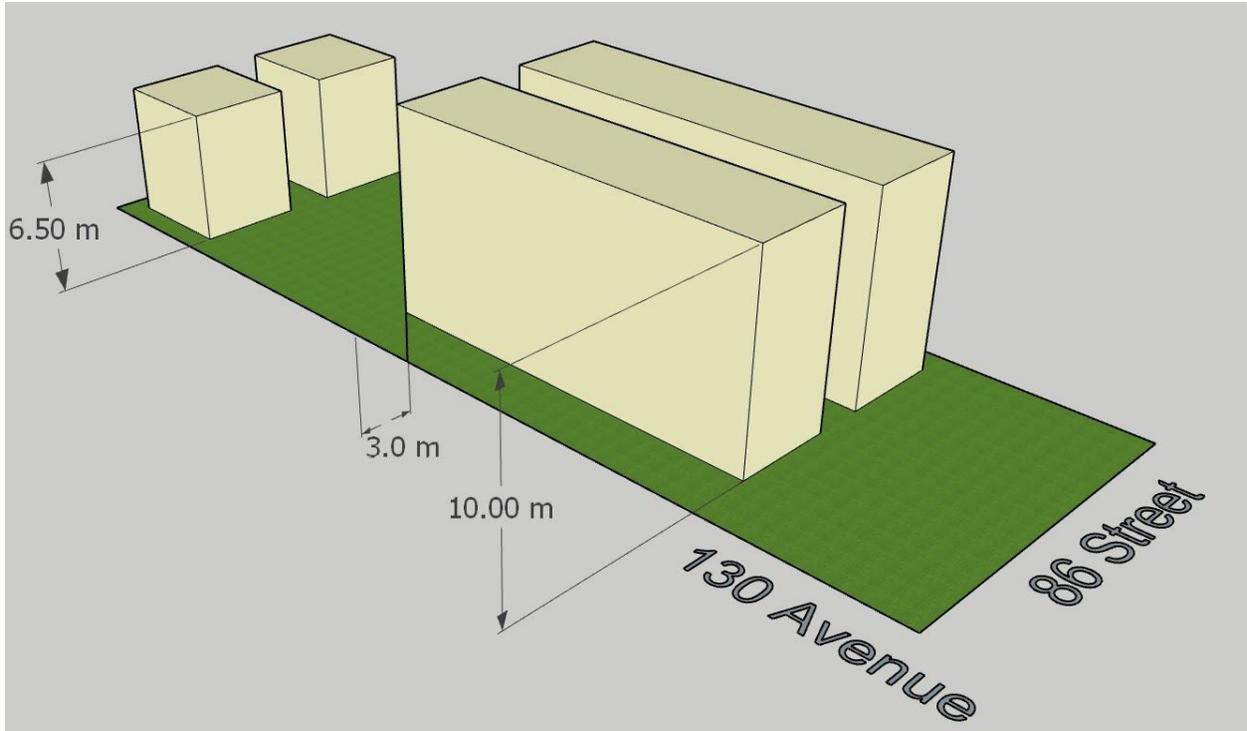
LAND USE COMPATIBILITY

The proposed RF3 Small Scale Infill Development Zone is the appropriate zone for creating the opportunity for Multi-Unit Housing on contextually sensitive infill sites.

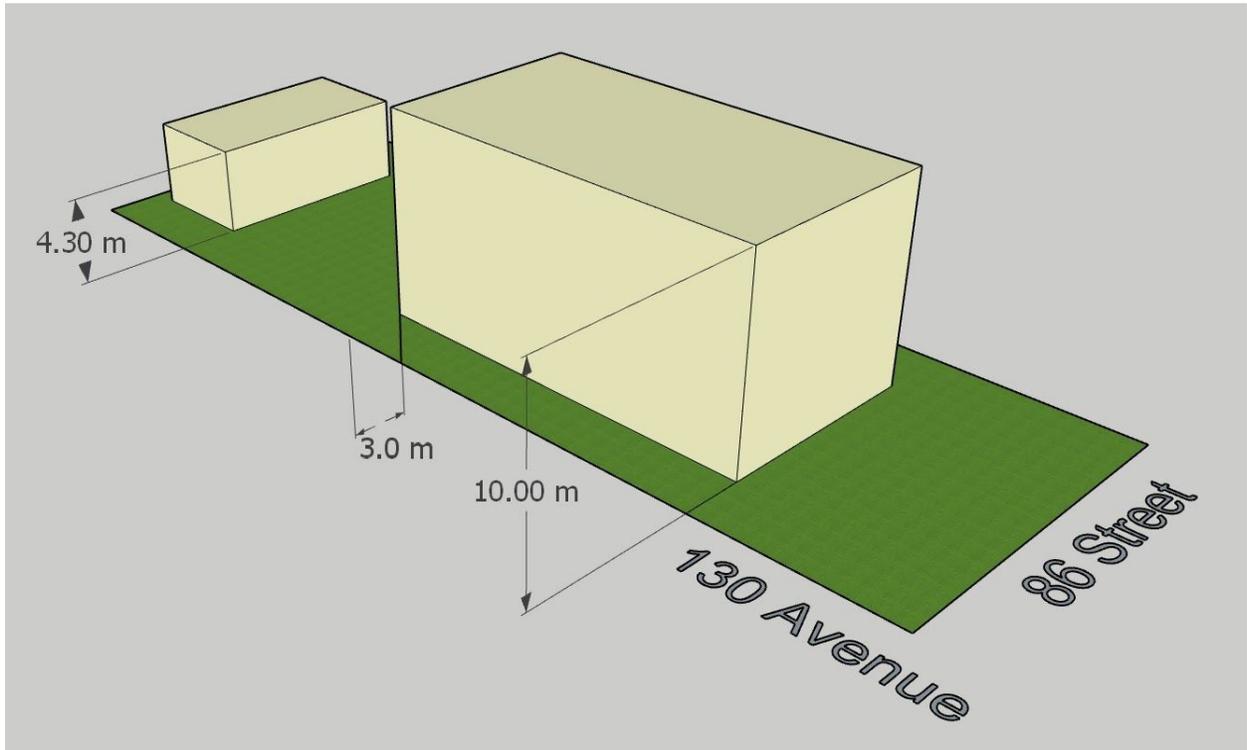
The regulations of the Mature Neighbourhood Overlay require that any new development on this lot be sensitive in scale to existing surrounding development. The regulations that dictate built form in the RF3 Zone along with the regulations of the MNO, are largely the same as those of the RF1 Zone. Front and rear setback requirements in both zones are the same, the maximum height in both zones is 8.9 metres. However, the RF3 Zone requires a more sensitive interior (north) setback of 3.0 metres while the RF1 zone, if a lot split were to occur, would only require 1.2 metres.

The RF3 Zone allows a higher site coverage than the RF1 Zone, but setback requirements within the RF3 Zone would result in a similar allowable built form to an RF1 development. The RF3 Zone will allow the division of the building into additional, smaller units. As well, Single Detached Housing could have Garden Suites in the RF1 Zone that are 6.5 metres in height whereas a garage in the RF3 Zone associated with Multi-unit Housing could only be 4.3 m in height.

	Current RF1 - Single Detached Housing	Proposed RF3 - Multi-Unit Housing
<u>Principal Building</u>		
Height	10.0 m	10.0 m
Front Setback	7.6 m - 13.6 m	7.0m
Interior Side Setback	2.0 m	3.0 m
Flanking Side Setback	3.0 m - 4.5 m	3.0 m
Rear Setback	18.3 m	18.3 m
<u>Accessory Building</u>		
Height	4.3 - 6.5 m	4.3 m
Interior Side Setback	0.9 m	0.9 m
Flanking Side Setback	3.0 - 4.5 m	3.0 m
Rear Setback	1.2 m	1.2 m



RF1 BUILDABLE AREA



RF3 BUILDABLE AREA

RESIDENTIAL INFILL GUIDELINES (RIGs)

These guidelines contain policies meant to ensure that infill developments are contextually respectful and sensitive within the City's mature neighbourhoods. The RIGs provide guidance as to where particular built form typologies may be most appropriate. According to the RIGs, Row Housing is directed to be on sites which are directly across from and facing school or park sites. There are no schools or parks existing within the direct vicinity of the proposed development and therefore, this application does not comply with the Guidelines. Although the application does not comply with the location criteria in RIGs, the regulations of the RF3 Zone will ensure development complies with the built form and design guidelines. Administration is supportive of this sensitive form of Row Housing under the RF3 Zone at corner locations such as the subject site.

TECHNICAL REVIEW

The proposed RF3 meets the technical requirement of civic departments and utility agencies and all comments from affected City Departments and utility agencies have been addressed.

PUBLIC ENGAGEMENT

ADVANCE NOTICE January 14, 2020	<ul style="list-style-type: none">• Number of recipients: 30• Number of responses in support: 0• Number of responses with concerns: 2• Common concerns included: Parking constraints in the area, safety, increased traffic, increased crime
PUBLIC MEETING	<ul style="list-style-type: none">• Not held
WEBPAGE	<ul style="list-style-type: none">• https://www.edmonton.ca/residential_neighbourhoods/neighbourhoods/killarney-planning-applications.aspx

CONCLUSION

Administration recommends that City Council **APPROVE** this application.

APPENDICES

- 1 Application Summary

APPLICATION SUMMARY

INFORMATION

Application Type:	Rezoning
Charter Bylaw:	19253
Location:	North of 130 Avenue NW and west of 86 Street NW
Address:	8604 - 130 Avenue NW
Legal Description:	Lot 14, Block 22, Plan 4542KS
Site Area:	817.84 m ²
Neighbourhood:	Killarney
Notified Community Organization(s):	Killarney Community League and the Edmonton North District Area Council Area Council
Applicant:	Mario Scarpelli

PLANNING FRAMEWORK

Current Zone and Overlay:	(RF1) Single Detached Residential Zone (MNO) Mature Neighbourhood Overlay
Proposed Zone and Overlay:	(RF3) Small Scale Infill Development Zone (MNO) Mature Neighbourhood Overlay
Plan in Effect:	None
Historic Status:	None

Written By:	Luke Cormier
Approved By:	Tim Ford
Branch:	Development Services
Section:	Planning Coordination