

ARP Amendment + Rezoning to RF5 - Inglewood Multi-family Development 11315 – 128 Street NW

Limak Investments Inc.

DIALOG[®]

Community Development Pattern

Charles Camsell Hospital Redevelopment



- Approved
- Proposed
- Existing

Multi-Modal Transportation Network



The Principles



Family-friendly – Support Inglewood as a family-friendly neighbourhood where people have a diverse range of housing options to raise families and age in place.



Community Vibrancy - Promote a pattern of development that will bring people into the neighbourhood to support schools, businesses and the overall vitality of the community.

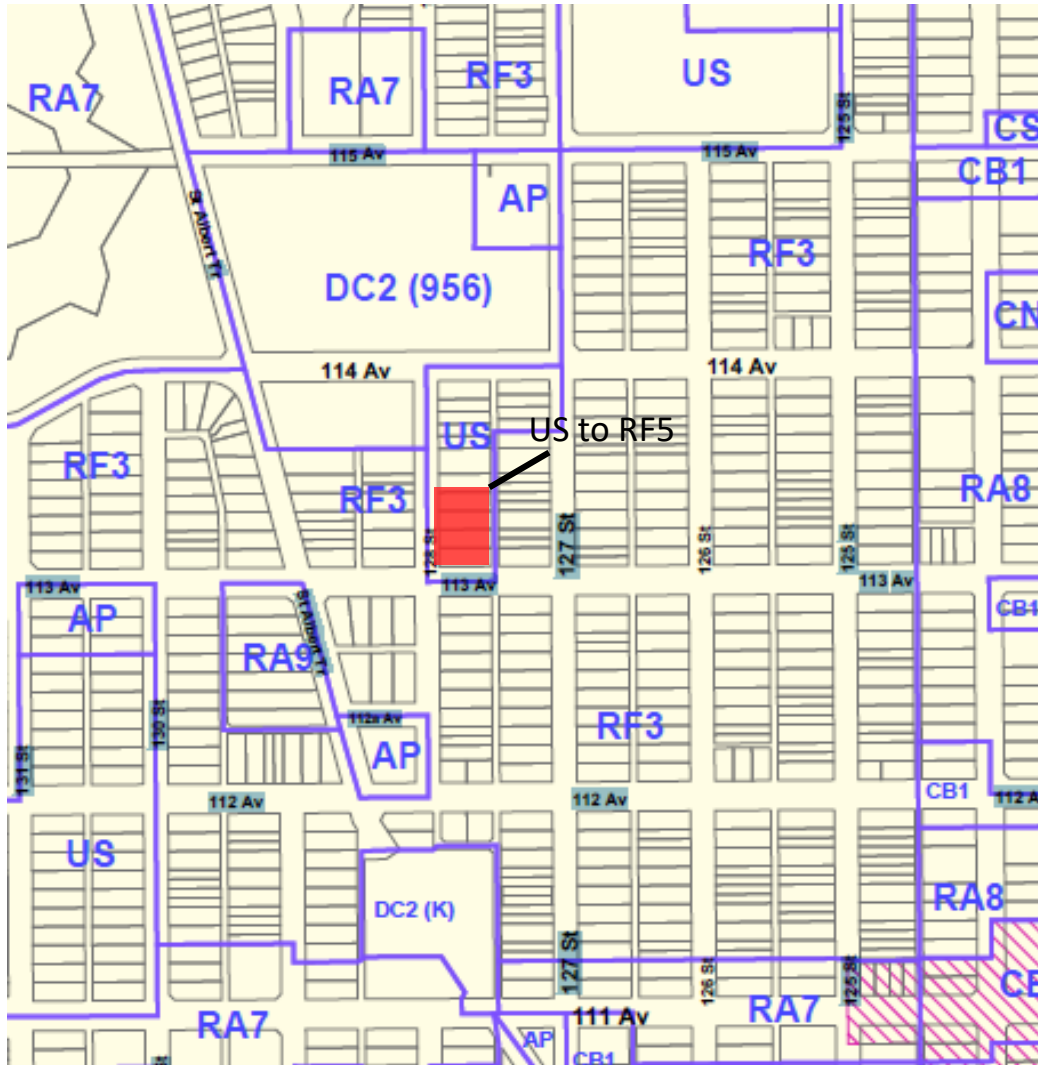


Integrate Design – Design the built form to integrate with the existing character of the neighbourhood by creating a welcoming interface with the street.

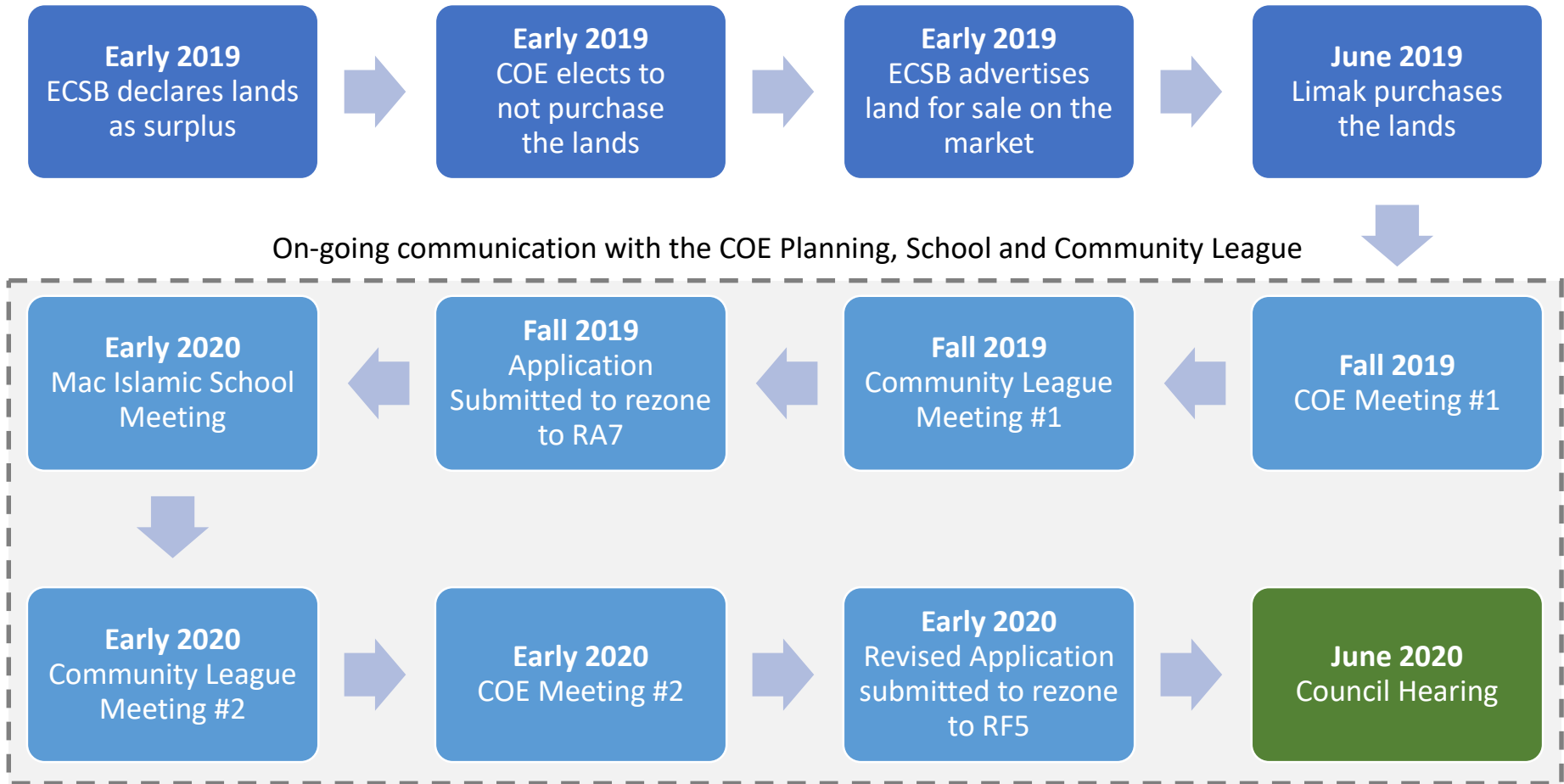


Complete Community - Support the development of a complete community through a multi-family development that reinvests in the neighbourhood.

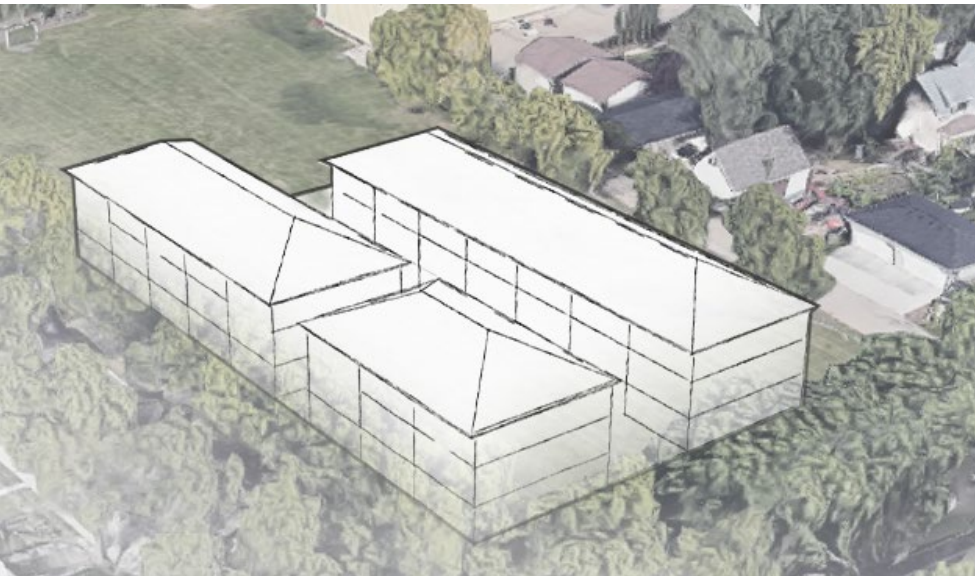
Zoning



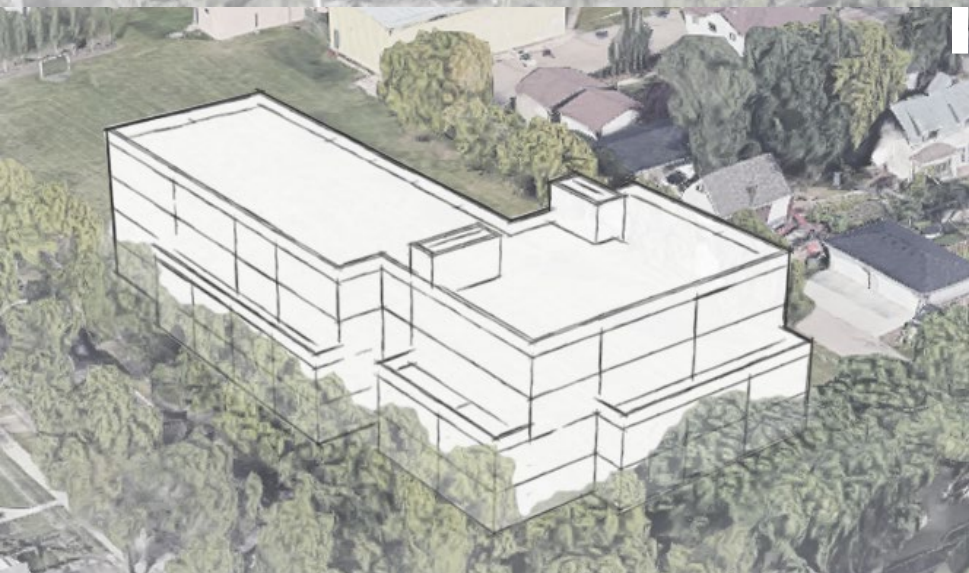
Project Timeline



Zoning Comparison



RF5 Massing Example



RA7 Massing Example

(RF3) Small Scale Infill Development Zone + Mature Neighbourhood Overlay

Purpose: To provide a zone for a mix of small scale housing.

Uses:	Residential
Max Units	Approx. 17 units
Max Height:	8.9 metres
Front Setback:	3.0 metres
Rear Setback:	40% of site depth (MNO) Approx. 17 metres
Side Setback:	2.0 metres

(RF5) Row Housing Zone + Mature Neighbourhood Overlay

Purpose: To provide a zone for low rise multi-unit Housing

Uses:	Residential
Max Units	Approx. 22-35 units (depending on stacked or regular townhouse)
Max Height:	10 metres
Min. Density:	35 dwellings/ha
Front Setback:	3.0 metres
Rear Setback:	7.5 metres
Side Setback:	2.0 metres

(RA7) Low Rise Apartment Zone

Purpose: To provide a zone for ground oriented housing

Uses:	Residential and limited commercial
Max Units:	Approx. 50 units
Max Height:	14.5 metres for flat roofs, 16 metres for pitched roofs
Floor Area Ratio:	2.3
Front Setback:	4.5 metres
Rear Setback:	7.5 metres
Side Setback:	3.0 metres

Conclusion



- Open and transparent engagement process with multiple touchpoints with the City and stakeholders
- More compatible land use than initially proposed (RF5 instead of RA7) that fits in with the scale of surrounding development
- Density in a mature neighbourhood that is well serviced by a multi-modal transportation network
- Reinvestment to support Inglewood as a vibrant, diverse, and complete community