

ITEMS 3.6 & 3.7

Bylaw 18869

Charter Bylaw 18870

King Edward Park / Mill Creek Ravine South

2 Site Context





SUBJECT SITE - RA7 PORTION
(VIEW LOOKING WEST FROM 93 STREET)



SUBJECT SITE - PU PORTION
(VIEW LOOKING NORTH FROM LANE)

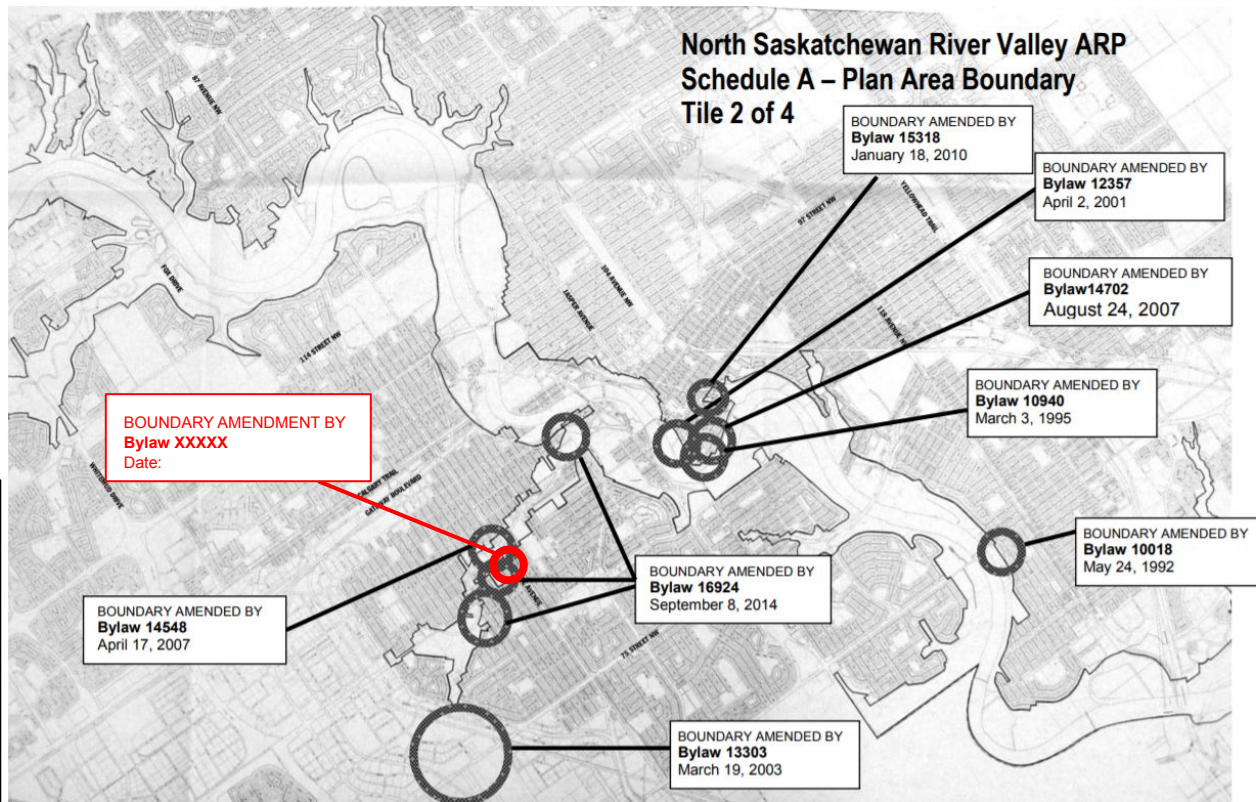


SUBJECT SITE - RA7 PORTION
(VIEW LOOKING NORTHEAST FROM LANE)

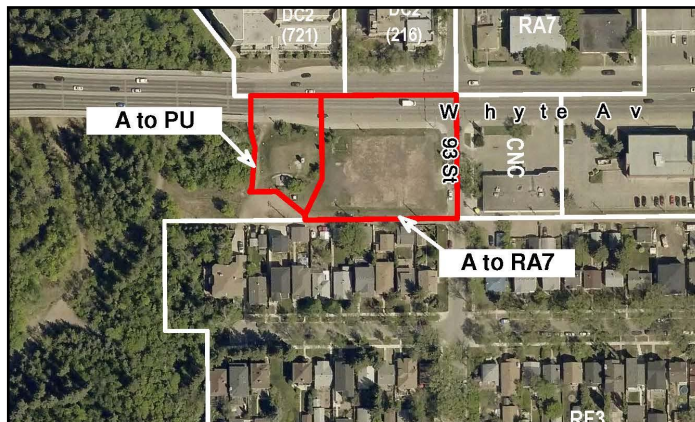


North Saskatchewan River Valley ARP

Remove Area from NSRVARP



*NOTE: This map is a reproduction and is intended for reference purposes only. The original map can be obtained from the Office of the City Clerk or the Planning and Development Department.



| | (A) Metropolitan Recreation Zone | (PU) Public Utility Zone | (RA7) Low Rise Apartment Zone |
|-------------------------|---|---|--|
| Use | Public Park | Minor Impact Utility Service | Multi-Unit Housing |
| Height | 10.0 | 8.9 m | 14.0m - 16.0 m |
| Density | N/A | N/A | Minimum 45 Dwellings/ha |
| Floor Area Ratio | N/A | 1.2 m | 2.5 m |

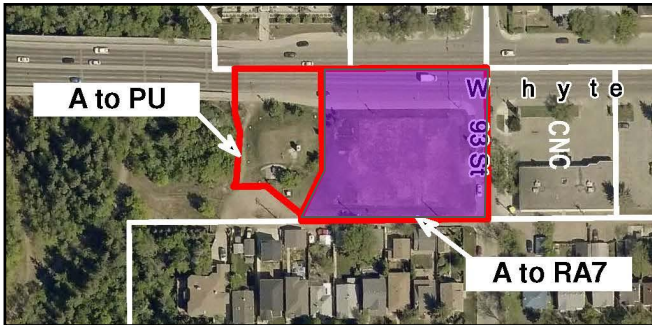
7 The Proposal (RA7 Portion)

Number of Storeys: 4

Number of Units: 30

Types of Units:

- 12 studio units
- 3 barrier-free studio units
- 12 one bedroom units
- 3 barrier-free one bedroom units



8 The Proposal (PU Portion)





ADMINISTRATION'S RECOMMENDATION: **APPROVAL**

Affordable Housing and Homelessness Supportive Housing Engagement

→ **Timeline**

- ◆ June - September 2020

→ **Engagement Focus**

- ◆ Good Neighbour Plan
- ◆ Building Design Elements

Affordable Housing and Homelessness Supportive Housing Engagement

→ Key Metrics

- ◆ Up to 2000 separate participants
- ◆ Over 2000 survey responses
- ◆ Over 700 Livestream Q&A Views

Affordable Housing and Homelessness

Supportive Housing Engagement

→ Next Steps

- ◆ Finalize Good Neighbour Plan
- ◆ Building design
- ◆ Ongoing communication and relationship-building